

## AGENDA FOR

## PLANNING CONTROL COMMITTEE

*Contact::* Keren Murphy  
*Direct Line:* 0161 253 5130  
*E-mail:* k.m.murphy@bury.gov.uk  
*Web Site:* www.bury.gov.uk

**To: All Members of Planning Control Committee**

**Councillors :** K Thomas, M Hayes, J Walker,  
T Cummings, S Haroon, C Preston (Chair), R Skillen,  
J Harris, I Schofield, M D'Albert, S Nuttall and G McGill

Dear Member/Colleague

### Planning Control Committee

You are invited to attend a meeting of the Planning Control Committee which will be held as follows:-

<b>Date:</b>	Tuesday, 26 March 2019
<b>Place:</b>	Peel Room, Bury Town Hall
<b>Time:</b>	7.00 pm
<b>Briefing Facilities:</b>	<p>If Opposition Members and Co-opted Members require briefing on any particular item on the Agenda, the appropriate Director/Senior Officer originating the related report should be contacted.</p> <p>The Head of Development Management will brief the Committee on any changes to be made to the Planning Applications from the date of the Agenda up to the Committee meeting. This information will be circulated to Members and made available to the public on the Council's website on the day of the meeting.</p>
<b>Notes:</b>	<p>Food will be available from 5.00 pm (Lancaster Room). Pre-meeting briefing/virtual site visits at 6.00 pm (Lancaster Room).</p> <p>Details of site visits/Member training will be circulated separately to Members and Officers.</p>

The Agenda and reports for the meeting are attached.

The Agenda and reports are available on the Council's website at [www.bury.gov.uk](http://www.bury.gov.uk) – Council and Democracy.

Yours sincerely

A handwritten signature in black ink, appearing to read 'S. N. Kenyon', with a long horizontal flourish extending to the right. The signature is centered within a light gray rectangular box.

Stephen Kenyon CPFA  
Interim Executive Director of Resource and Regulation

## **AGENDA**

### **1 APOLOGIES FOR ABSENCE**

### **2 DECLARATIONS OF INTEREST**

Members of the Planning Control Committee are asked to consider whether they have an interest in any of the matters on the Agenda and, if so, to formally declare that interest.

### **3 MINUTES OF THE MEETING HELD ON 19TH FEBRUARY, 2019** *(Pages 1 - 4)*

### **4 PLANNING APPLICATIONS** *(Pages 5 - 74)*

#### **a SUPPLEMENTARY AGENDA** *(Pages 75 - 88)*

### **5 DELEGATED DECISIONS** *(Pages 89 - 104)*

A report from the Head of Development Management on all delegated planning decisions since the last meeting of the Planning Control Committee.

### **6 PLANNING APPEALS** *(Pages 105 - 142)*

A report from the Head of Development Management on Planning Appeals and Enforcement Appeals lodged and determined since the last meeting of the Planning Control Committee.

### **7 REVIEW OF CONSERVATION AREAS 2019** *(Pages 143 - 306)*

A report from the Head of Development Management detailing the mini-review of the 2007 plan for all Conservation Areas and the recommendations put forward for the area's preservation and enhancement. Please see Appendices attached relating to each of the 10 Conservation Areas.

### **8 URGENT BUSINESS**

Any other business which by reason of special circumstances the Chair agrees may be considered as a matter of urgency.

This page is intentionally left blank



**Minutes of: PLANNING CONTROL COMMITTEE**

**Date of Meeting:** 19 February 2019

**Present:** Councillor C Preston (in the Chair)  
Councillors K Thomas, M Hayes, T Cummings, S Haroon,  
R Skillen, J Harris, I Schofield, M D'Albert, S Nuttall and  
McGill

**Public Attendance:** 25 members of the public were present at the meeting.

**Ward Councillor Representation:** Councillor Hussain  
Councillor O'Brien

**Apologies for Absence:** Councillor J Walker

---

**PCC.1 DECLARATIONS OF INTEREST**

Councillor Harris declared a prejudicial interest in application number 2 of item 4 (planning application no. 63388 relating to Bleaklow Hall in Tottington) as she was a member of the Bury Folk group which opposes any building on the greenbelt. Councillor Harris stated that she would leave the meeting during deliberation of the application and take no part in the decision.

**PCC.2 MINUTES OF THE MEETING HELD ON 22ND JANUARY, 2018**

**Delegated decision:**

That the Minutes of the meeting held on 22 January 2019 be approved as a correct record and signed by the chair

**PCC.3 PLANNING APPLICATIONS**

A report by the Chief Planning Officer was submitted in relation to various applications for planning permission. Supplementary information was also submitted in respect of application numbers: 63374, 63388, 63466, 63520, 63521 and 63534.

The Committee heard representations from applicants and/or objectors in respect of the applications submitted. This was limited to three minutes for each speaker.

**Delegated decisions:**

1. That the Committee **Approve** the following applications in accordance with the reasons put forward by the Head of Development Management in the report and supplementary information submitted:-

**63374** - Land at rear of 27 Duckworth Road, Prestwich, Manchester, M25 9GF - Erection of 1 no. dwelling.

Please note: Councillor Harris left the meeting during the following item:

**63388** - Bleaklow Hall, Bolton Road, Tottington, Bury, BL8 4JF - Demolition of existing bungalow and erection of 4 no. dwellings with associated parking and access.

**63466** - 255 Bury New Road, Prestwich, Manchester, M25 9PB - Retention of existing A3 cafe/restaurant use with extended opening hours and new glazed balustrade around existing forecourt area.

**63520** - 14-16 St Marys Place, Bury, BL9 0DZ - Change of use from massage institute (Class D1) to 2 no. 7-bed houses of multiple occupation (HMO); External alterations to include replacement windows/doors, bicycle/bin storage at rear and boundary wall/gates at rear

**63521** - 14-16 St Marys Place, Bury, BL9 0DZ - Listed Building Consent for change of use from massage institute (Class D1) to 2 no. 7-bed houses of multiple occupation (HMO) with internal alterations and external alterations to include replacement windows/doors, bicycle/bin storage at rear and boundary wall/gates at rear.

**63589** - 8 Bolton Street, Bury, BL9 0LQ - Change of use from estate agents (Class A2) to private hire taxi booking office (Sui Generis)

2. That the Committee be **Minded to Approve** the following application in accordance with the reasons put forward by the Head of Development Management in the report and supplementary information submitted and subject to the conditions included:-

**63534** - Site of former Park Hotel, Lowther Road, Prestwich, Manchester, M25 9GP. Residential development comprising of 7 no. 2 storey houses, 12 no. apartments, 21 parking spaces and associated amenity spaces

#### **PCC.4 DELEGATED DECISIONS**

A report from the Head of Development Manager was submitted listing all recent Planning application decisions made by Officers using delegated powers.

##### **Delegated decision:**

That the report be noted.

#### **PCC.5 PLANNING APPEALS**

A report from the Head of Development Management was submitted listing all recent Planning Appeal decisions since the last meeting of the Planning Control Committee.

##### **Delegated decision:**

That the report be noted.

**PCC.6 SECTION 106 OBLIGATIONS**

A report from the Development Manager was submitted detailing the contributions made by Section 106 Obligations since April, 2017 and which summarised outstanding agreements.

**Delegated decision:**

That the report be noted.

**COUNCILLOR C PRESTON**  
**Chair**

**(Note: The meeting started at 7.05 pm and ended at 8.35 pm)**

This page is intentionally left blank

<b>Title</b>	<b>Planning Applications</b>
<b>To:</b>	<b>Planning Control Committee</b>
<b>On:</b>	<b>26 March 2019</b>
<b>By:</b>	<b>Development Manager</b>
<b>Status:</b>	<b>For Publication</b>

### **Executive Summary**

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

### **This report has the following implications**

**Township Forum/ Ward:** Identified in each case.

**Policy:** Identified in each case.

**Resources:** Not generally applicable.

**Equality Act 2010:** All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:  
The elimination of discrimination, harassment and victimisation;  
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;  
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

**Human Rights:** All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based

upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

The Crime and Disorder Act 1998 imposes (without prejudice to any other obligation imposed on it) a duty upon the Council to exercise its functions and have due regard to the likely effect of the exercise of its functions on, and the need to do all that it reasonably can to prevent crime and disorder in its area. In so doing and on making planning decisions under the Town and Country Planning Acts, the Planning Control Committee shall have due regard to the provisions of the Crime and Disorder Act 1998 and its implications in the exercise of its functions.

## **Development Manager**

### **Background Documents**

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

<b>01</b>	<b>Township Forum - Ward:</b> Radcliffe - East	<b>App No.</b> 63559
	<b>Location:</b> Land to South of Morris Street and land within Close Park, Radcliffe	
	<b>Proposal:</b> A series of sheet piled walls and embankments, on land within Close Park and land to the south of Morris Street, which form part of a wider scheme to improve flood protection along the River Irwell.	
	<b>Recommendation:</b> Approve with Conditions	<b>Site Visit:</b> N
<hr/>		
<b>02</b>	<b>Township Forum - Ward:</b> Whitefield + Unsworth - Pilkington Park	<b>App No.</b> 63597
	<b>Location:</b> McDonald's Restaurant, 103 Bury New Road, Whitefield, Manchester, M45 7EG	
	<b>Proposal:</b> Alterations to elevations to include the construction of extensions totalling 52.9m2 and new cladding to roof and an additional drive thru booth. New shop front glazing, relocated entrance and new boundary fencing. The reconfiguration of the drive thru lane to provide side by side ordering and associated works to the site with new and relocated signage including fascia signage.	
	<b>Recommendation:</b> Approve with Conditions	<b>Site Visit:</b> N
<hr/>		
<b>03</b>	<b>Township Forum - Ward:</b> Whitefield + Unsworth - Pilkington Park	<b>App No.</b> 63636
	<b>Location:</b> Aldi Foodstore Ltd, Higher Lane, Whitefield, Manchester, M45 7EA	
	<b>Proposal:</b> Demolition of food store and retail terrace. Erection of replacement Class A1 foodstore with associated access, car parking, servicing and hard and soft landscaping	
	<b>Recommendation:</b> Approve with Conditions	<b>Site Visit:</b> N
<hr/>		
<b>04</b>	<b>Township Forum - Ward:</b> Whitefield + Unsworth - Unsworth	<b>App No.</b> 63686
	<b>Location:</b> Land at Roach Bank Road, Bury, BL9 8RY	
	<b>Proposal:</b> Retention of external lighting scheme and baffling approved by 62835	
	<b>Recommendation:</b> Approve with Conditions	<b>Site Visit:</b> N
<hr/>		

**Ward:** Radcliffe - East

Item 01

**Applicant:** Environment Agency

**Location:** Land to South of Morris Street and land within Close Park, Radcliffe

**Proposal:** A series of sheet piled walls and embankments, on land within Close Park and land to the south of Morris Street, which form part of a wider scheme to improve flood protection along the River Irwell.

**Application Ref:** 63559/Full

**Target Date:** 07/03/2019

**Recommendation:** Approve with Conditions

### **Description**

The application site relates to two areas of land - Close Park and land near Morris Street and Dumers Lane.

Close Park is a public park and is around 11 hectares in size. The park is level throughout and with footways and there are a number of pitches, which are used by a local football club. There is a sports pavilion, tennis courts, bowling green and a childrens play area within the park. Vehicular access is taken from Church Green.

There are residential properties to the north, the River Irwell to the east, Bealeys Goit and Grade I listed buildings to the west and open land to the south.

The site at Dumers Lane is 0.5 miles to the north of Close Park. The site consists of open land to the south of Morris Street and runs along the River Irwell to the rear of industrial and residential properties.

There are residential properties to the north, east and west of the site and the River Irwell is located to the south.

### **Proposed development**

The proposed development involves the provision of flood defence measures at the two sites - Close Park and Morris Street, which are a combination of flood embankments and vertical piled retaining walls.

Close Park - The proposed development involves 655 metres of flood embankments/bunds (405 metres) and walls (250 metres) to form a barrier to flood water. The route of the flood defences follows a line from the rear of properties at the north east corner of Close Park to a tie in point with high ground to the south of Radcliffe Tower.

The proposed sheet pile wall (2 metres in height) would be constructed along the rear of Nos 10 - 30 Parkside Close and would be adjacent to the bund. The proposed bund would be 3 metres in height and would run east to west from the rear of No. 18 Parkside Close to Bealeys Goit, and north to south adjacent to the existing pavilion around the tennis courts to the edge of the existing car park. A pile sheet wall would be constructed from the bund to the edge of the Radcliffe tower site.

The retaining wall near the dwellings on Parkside Close will be offset to enable maintenance and a small walkway would be provided between the property boundaries and the retaining wall.

The existing football pavilion will remain on the dry side of the proposed bund and the existing pitches will be upgraded to ensure that all of the area is playable to maintain the



number of pitches at the site.

An informal walkway will be created for use by the public leading from Dumers Lane, entering Close Park at the north west corner and continuing around the south east perimeter of the park.

Access would be taken from Close Park.

Morris Street - The proposed development involves 340 metres of flood defence measures, which are a combination of flood embankments/bunds (80 metres) and walls (260 metres) to form a barrier to flood water. The route of the flood defences follows a line from the high ground at the end of Morris Street to the rear of No. 74 Dumers Lane.

A T-shaped bund would be constructed at the bottom end of Morris Street. The proposed bund would be 3 metres in height with a path where it connects Morris Street to the existing riverside walkway and 2 metres in height where it runs parallel with the River Irwell.

A sheet pile wall, of varying heights between 1 - 3 metres would be constructed between the proposed bund at Morris Street and the rear of 74 Dumers Lane.

The sheet pile wall would have a concrete coping and would be constructed with bricks on the dry side of the wall, which would face the residential properties on Dumers Lane. Near No. 74 Dumers Lane, a stepped access would be provided to ensure access to the public footpath.

### **Relevant Planning History**

None relevant.

### **Publicity**

The neighbouring properties were notified by means of a letter on 7 December 2018 and a press notice was published in the Bury Times on 13 December 2018.

3 letters have been received from the occupiers of 8, 10 Parkside Close and 55 Riverside Road, which has raised the following issues:

- The proposed works would be very near our house and will cause adverse effects.
- The flood defence walls would be 4 - 6 metres from our garden fence and it is 5 metres in height, which is almost as tall as our house.
- The wall can be used to climb over into our house and garden
- If people walk on the bank, our privacy will be lost.
- We will lose our view of the park.
- Our house will be worth less and rubbish will accumulate in the gap between the wall and our fence.
- Object to the way you proposed to construct the flood defences.
- Obviously the defences need to be in place, but there is alternative solutions.
- We do not want the piles walls near our property.
- I hope serious consideration will be given to an alternative plan and the EA will not dismiss it out of hand.

The objectors have been notified of the Planning Control Committee meeting.

### **Statutory/Non-Statutory Consultations**

**Traffic Section** - No objections in principle. Further comments to be reported in the Supplementary Report.

**Drainage Section** - No response.

**Environmental Health - Contaminated Land** - No objections, subject to the inclusion of conditions relating to contaminated land and waste management.

**Environmental Health - Air Quality** No comments.

**Public Rights of Way Officer** - No objections.

**Conservation Officer** - No objections.

**Sport England** - No objections in principle. Further comments to be reported in the Supplementary Report.

**Environment Agency** - No objections, subject to the inclusion of conditions relating to contaminated land, piling and foundation designs and verification report.

**United Utilities** - No objections.

inclusion of a condition relating to a method statement to protect assets.

**GM Ecology Unit** - No objections, subject to the inclusion of conditions relating to bats, otters, nesting birds, invasive species, a construction and environmental management plan and landscaping and ecological plans.

**GM Archaeological Advisory Service** - No objections, subject to the inclusion of a condition relating to archaeological works.

**Historic England** - No objections on heritage grounds. Recommend views of GM Archaeological Service are sought on the proposal.

**Pre-start Conditions** - Agent has not yet agreed with pre-start conditions. Further information will be reported in the Supplementary Report

### **Unitary Development Plan and Policies**

EN1/1	Visual Amenity
EN1	Built Environment
EN1/3	Landscaping Provision
EN2/3	Listed Buildings
EN3/1	Impact of Development on Archaeological Sites
EN3/2	Development Affecting Archaeological Sites
EN3/3	Ancient Monuments
EN5/1	New Development and Flood Risk
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/2	Noise Pollution
EN7/3	Water Pollution
EN8/2	Woodland and Tree Planting
OL1/5	Mineral Extraction and Other Development in the Green Belt
OL5/2	Development in River Valleys
RT1/1	Protection of Recreation Provision in the Urban Area
RT3/4	Recreational Routes
HT2/4	Car Parking and New Development
HT6/2	Pedestrian/Vehicular Conflict
SPD6	Supplementary Planning Document 6: Alterations & Extensions
NPPF	National Planning Policy Framework

### **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Principle (Green Belt)** - The application site at Close Park is located within the Green Belt and River Valley.

Inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances.

Paragraph 144 of the NPPF states that when considering an application, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt. 'Very special circumstances' will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations.

Paragraph 146 of the NPPF states that certain forms of development are also not inappropriate in the Green Belt provided they preserve its openness and do not conflict with the purposes of including land within it. These are:

- a. mineral extraction;
- b. engineering operations;
- c. local transport infrastructure which can demonstrate a requirement for a Green Belt location;
- d. the re-use of buildings provided that the buildings are of permanent and substantial construction;
- e. material changes in the use of land (such as changes of use for outdoor sport or recreation, or for cemeteries and burial grounds; and
- f. development brought forward under a Community Right to Build Order or Neighbourhood Development Order.

Policy OL1/5 states that within the Green Belt other development, not including buildings, will be inappropriate unless it maintains openness and does not conflict with the purposes of including land in the Green Belt.

Policy OL5/2 states that within the river valleys, new buildings or the change of use of existing buildings or the change of use of land will not be permitted. The only exceptions considered acceptable will be those where the development would not lead to the division of the open parts of the valleys into sections and it falls within the terms below:

- where the area is designated as Green Belt the established Green Belt policies will apply:
- or
- where the area does not form part of the Green Belt, at least one of the following circumstances is met:
    - that the development represents limited infilling to an established valley settlement or industrial area;
    - that it is an extension to, or renewal of an existing industry, where the economic and employment factors are of overriding importance;
    - that the development is required in association with an outdoor recreation or appropriate tourist facility;
    - that the development is limited and will form part of, and be essential to, the maintenance of the provision and improvement of public services and utilities;
    - any other development that would be appropriate in a Green Belt.

As the site is located in the Green Belt and River Valley, if the proposal would be appropriate in the Green Belt, it would comply with the Policy regarding the river valley. The proposed development would involve the creation of bunds in Close Park to act as a flood defence. As such, the proposed development would be an engineering operation and would be appropriate development within the Green Belt. The proposed bunds would be landscaped and a maximum of 3 metres in height and would be viewed within the setting of dwellings, the pavilion and the park. As such, the proposed development would not have a significant impact upon the openness and character of the Green Belt in terms of height and appearance. Therefore, the proposed development would be in accordance with Policies OL1/5 and OL5/2 of the Bury Unitary Development Plan and the NPPF.

**Principle (Recreation)** - The application site at Close Park is allocated as protected recreation provision in the Bury UDP.

Paragraph 97 of the NPPF states that existing open space, sports and recreational buildings and land, including playing fields, should not be built on unless:

- a) an assessment has been undertaken which has clearly shown the open space, buildings or land to be surplus to requirements; or
- b) the loss resulting from the proposed development would be replaced by equivalent or better provision in terms of quantity and quality in a suitable location; or
- c) the development is for alternative sports and recreational provision, the benefits of which clearly outweigh the loss of the current or former use.

Policy RT1/1 states that development will not be allowed where it would result in the loss of:

- existing and proposed outdoor public or private recreation facilities, including playing fields, sports grounds, parks and gardens, childrens play areas, allotments and golf courses;
- recreation space within settlements located in the Green Belt;
- indoor facilities for which there is a recreational need;
- any other unidentified recreation provision such as playing fields, sports grounds, parks and gardens, children's play areas, allotments and golf courses, including sites created during the period of the plan.

Exceptions to this policy may be permitted where:

- sports and recreation facilities can best be retained and enhanced through the redevelopment of a small part of the site;
- alternative provision of equivalent community benefit is made available; or
- it can be demonstrated that there is an excess of sports pitch provision and public open space in the area, taking account of the recreation and amenity value of such provision.

The area adjacent to the flood defences in Close Park is currently used by a local football club and contains a number of football pitches of varying sizes. The proposed development would result in the loss of 2,598 square metres of the playable area. There is an area of land to the north of the site, which is currently unplayable due to uneven ground and drainage issues. The proposed development would improve this area and as such, would add 2,828 square metres of playable area into use, which would represent an increase of 230 square metres. As such, the proposed development would provide better facilities in terms of playable area than are currently available through the redevelopment of part of the site.

The works to construct the flood defences are scheduled to take place during the football seasons and as such, the applicant is willing to provide alternative facilities in the form of an adult sized pitch during the period of construction.

The proposed bund would wrap around the existing pavilion, which contains changing facilities and toilets for the club. The Football Association, Sport England and the club had raised concerns that the proposed bund would significantly reduce the natural supervision of children accessing the toilets during a match. As such, the applicant is going to make a contribution to the club to enable them to provide toilets at first floor level, which would be visible and would resolve this issue.

Sport England has no objections in principle to the proposed development and further comments will be reported in the Supplementary Report.

Therefore, the proposed development would result in better provision being made available at this site and would be in accordance with Policy RT1/1 of the Bury Unitary Development Plan and the NPPF.

**Design and layout** - The proposed development would be a mixture of fencing, bunds and walls, which would act as a barrier and prevent floodwater from causing damage to the residential properties.

Close Park - The proposed wall at the rear of Nos 10 - 30 Parkside Close would be constructed from sheet piles with a concrete coping on the top. The area between the proposed wall and the existing garden fences would be seeded with a wildflower meadow mix. As all of the existing garden fences are 2 metres in height, the majority of the

proposed wall would not be visible and would be screened by the existing fencing. The ground levels on the park side would be raised and planted accordingly and clad with timber. As such, the proposed wall would not be a prominent feature in the locality.

The wall located at the southern boundary of the site would be constructed in masonry facing the graveyard to the church and would be exposed sheet piles on the elevation facing the open land. The proposed development would be acceptable and would not be a prominent feature in the locality.

The remainder of the flood defence would be a grassed bund, which would include a path on the crest. The area of the bund adjacent to the pavilion building would provide a grass terrace to act as informal seating. The provision of a grassed bund would not be a prominent feature in the locality.

Morris Street - The flood defences would consist of a bund from the bottom of Morris Street and Hassall Street and a wall for the remainder of the defence. The proposed bund would be grassed with a path connecting Morris Street to the existing river walkway. The proposed wall would vary between 2 - 3 metres in height and would be exposed on the side facing the river. The stretch of wall at the rear of the commercial buildings would be exposed sheet piles and the remainder would be faced with brick, which would match the existing dwellings. As such, the proposed development would not be a prominent feature in the locality.

Therefore, the proposed development would be in accordance with Policies EN1/2 and EN1/3 of the Bury Unitary Development Plan.

**Heritage/archaeology** - Sections 66 and 72 of the Town & Country Planning (Listed Buildings & Conservation Areas Act) 1990 imposes a statutory duty upon the Local Planning Authority (LPA) to recognise, positively manage and ensure the preservation or enhancement of Listed Buildings and Conservation Areas.

Chapter 12 of the National Planning Policy Framework (NPPF) sets out the Government's planning policy position in relation to development involving heritage matters. Paras 128 to 141 set out how the significance of listed buildings and Conservation Areas must be considered in relation to development proposals including, but limited to, the judgement of harm, significance, loss to heritage assets (Designated ones and non-designated ones).

There are no heritage assets located near the Morris Street site, but there is a scheduled ancient monument (Radcliffe Tower), and 2 Grade I listed buildings (Radcliffe Tower and St Mary & St Bartholomew church adjacent to the Close Park site).

Archaeological potential - Close park is an area of parkland & recreation and remains largely undeveloped. There is a high potential for surviving archaeological remains of any age. During a programme of archaeological excavations over a twenty year period found in-situ structures, organic remains and associated flint relating to a lake settlement and flint working site. There is also a bronze age barrow that shows ritual use. As such, there is moderate potential for prehistoric finds and monuments.

GM Archaeological Advisory Unit has no objections to the proposed development, subject to a condition relating to archaeological works.

Listed buildings & scheduled monument - Close park is located in close proximity to the Grade I listed buildings of the Church of St Mary and St Bartholomew and Radcliffe Tower.

The tower has historic value and is a rare example of this type of medieval tower house. Tower houses are a type of defensible house that developed in the medieval period from 13 to 16 centuries. The example at Radcliffe is significant as it is one of the furthest south. The building has historical value due to association with the Lord of Radcliffe and the medieval manor reflects the wealth and importance of the family who ranked amongst the most

important in Lancashire. The setting forms an important part of the value of the tower, but is limited in its historic integrity to the immediate surrounding of the scheduled ancient monument and elements associated with the adjacent graveyard and church, which constitute the remains of the manor holdings.

The Church of St Mary and St Bartholomew is a high value asset and has both historical and evidential value. It has association with the de Radcliffe family who owned both the manor and the adjacent tower. Its communal value lies in its continued use as the principal parish church from the medieval period to current day. It has a distinctive square plan and despite a number of periods of later construction and alteration, it has maintained its medieval character and historical importance. Its setting plays an important part to its high value status which continues to be semi-rural. The historical association with Radcliffe tower has been maintained by a tree lined grove created clear inter-visibility between the two assets.

The proposed development would impact upon the setting of the Grade I listed church and tower by the construction of the proposed walls and bunds in Close Park. There would be an impact during construction which relate to noise and visual impacts, but the duration of the work would be short term. There would be an impact from the loss of trees, but this would be mitigated by replacement trees. Overall, the impacts would be neutral.

There would be a permanent impact to the setting of the two Grade I listed buildings from the proposed raised linear defences, which would be located in close proximity to the graveyard. The bunds would be mainly screened by the existing sports pitches and the key aspects of the setting of the church and tower are the connection between each other, which formed the medieval precinct and this would be unaffected by the proposals. In addition, the proposed flood defences would provide flood protection for the Grade I listed church, which was flooded during the floods in 2015.

Historic England and the Conservation Officer have both confirmed that they have no objections to the proposed development. Therefore, subject to conditional control, the proposed development would preserve the setting of the Grade I listed buildings and would be in accordance with Policies EN2, EN2/3, EN3/1, EN3/2 and EN3/3 of the Bury Unitary Development Plan and the NPPF.

**Impact upon residential amenity** - SPD6 provides guidance on aspect standards between residential properties and as such, would be relevant in this case. The aspect standards states that there should be a minimum of 20 metres between directly facing habitable windows, 13 metres between a habitable room window and a two storey blank wall and 6.5 metres between a habitable room window and a single storey blank wall.

The proposed development would provide a 3 metre high bund and a 2 metre high fence, which would equate to a maximum height of 5 metres. This would be equivalent to a two storey dwelling without the roof and as such, a minimum of 10 metres should be provided between the proposed defences and a habitable room in the residential dwellings.

No. 10 and No. 30 Parkside Close would not have any habitable room windows in the elevation facing the proposed defences. There would be a minimum of 11 metres between the original rear wall of Nos 12 - 28 Parkside Close and the proposed defences, which would be in excess of the 10 metre aspect standard.

Therefore, the proposed development would not have a significant adverse impact upon the amenity of the occupiers of the residential properties.

#### **Noise -**

Morris Street - The access to the Morris Street site would be taken from Morris Street and a new access opposite Borough Avenue. It is acknowledge that there would be some adverse impact upon the amenity of the neighbouring residents through noise and disturbance of the 900 lorry movements passing along Morris Street. However, the potential for noise and

disturbance would be mitigated by the restriction of the hours of delivery from 09.00 to 15.00 and the hours of operation from 08.00 to 18.00 Monday to Friday. In addition, the vehicle movements would be complete within a month. As such, it is considered that the wider benefits of the flood defence scheme would outweigh the temporary disturbance to the amenity of the neighbouring properties during construction.

**Close Park** - The access to Close Park would be taken from Church Green and Close Park access. It is acknowledged that there would be some adverse impact upon the amenity of the neighbouring residents and users of the park through noise and disturbance of the 3700 lorry movements. However, the potential for noise and disturbance would be mitigated by the restriction of the hours of delivery from 09.00 to 15.00 and the hours of operation from 08.00 to 18.00 Monday to Friday. In addition, the works would be complete within 3 months. As such, it is considered that the wider benefits of the flood defence scheme would outweigh the temporary disturbance to the amenity of the neighbouring properties and users of the park during construction.

**Flood risk** - A flood risk assessment has been submitted as part of the application. The works at Close Park and Morris Street would not impact upon any of the flood defence schemes up stream. The Environment Agency has no objections, subject to the inclusion of conditions relating to contaminated land, piling and foundation designs and verification report. Therefore, the proposed development would not increase flood risk and would be in accordance with Policies EN5 and EN5/1 of the Bury Unitary Development Plan and the NPPF.

**Ecology** - **Bats** - A bat assessment was carried out and emergence surveys on 2 trees located at Close Park. No evidence of bats was found and the report recommends precautionary measures for any trees assessed as having low of moderate bat roosting potential. No trees at the Morris Street site were assessed as being at risk. GM Ecology Unit (GMEU) has no objections, subject to the inclusion of a condition relating to bats.

**Otters** - An otter survey was carried out on the River Irwell, but did not include the Close Park section of the river. However, as no works are proposed along or near to the riverbank for this element of the project, this is acceptable. Evidence of otters was found downstream of Hardy Gate Bridge, but no holts were found and no field signs were found. The report concludes that otters had recently passed through this section of the river and therefore precautionary measures were required. GMEU agree with the findings of the report and recommend a condition.

**Nesting birds** - The development would result in the removal of bird nesting habitat. GMEU has no objections, subject to the inclusion of a condition relating to nesting birds.

**Invasive species** - Japanese Knotweed, Himalayan Balsam and Giant Hogweed are present within the development sites. GMEU has no objections subject to a condition relating to a method statement for eradicating Japanese Knotweed, Himalayan Balsam and Giant Hogweed.

Overall, the proposed development would not cause harm to the protected species and GMEU has no objections, subject to the inclusion of conditions. Therefore, the proposed development would be in accordance with Policies EN6 and EN6/3 of the Bury Unitary Development Plan.

**Trees** - The proposed development would involve the removal of trees on both sites to facilitate the proposed development. All of the trees on site were surveyed and there are some good quality trees (15 individual and 1 group), but the majority are of poor quality (12 trees and 12 groups).

The proposed development would result in the removal of 12 individual trees and 1 group of good quality trees and 12 individual trees and 12 groups of poor quality trees. It is acknowledged that this a lot of trees to be removed, but the trees are located within the

flood defence measures. However, the applicant will plant 5 trees for every 1 removed and where possible existing trees will be transplanted. A condition securing this would be included on any grant of planning permission. Therefore, the proposed development would not impact upon the character of the area significantly and would be in accordance with Policy EN8/2 of the Bury Unitary Development Plan.

**Highways issues** - Morris Street site - The main access to this site will be from Morris Street and would be used for the earthworks materials and general construction traffic. A secondary access for the sheet piling works will be via Dumers lane through the Irwell Bank Business Park access and a temporary access will be created opposite Borough Avenue. It is envisaged that there would be 900 movements over a single month. The vehicle movements would take place outside of the peak hours between 09.00 and 15.00 and would equate to 4 - 6 movements per hour. There would be adequate visibility at these junctions. The Traffic Section has no objections, subject to the inclusion of conditions relating to

Close park - The access to Close Park would be via the car park from Church Green and would be used for the earthworks materials and general construction traffic. It is envisaged that there would be 3700 vehicle movements over a 3 month period. The vehicle movements would take place outside of the peak hours between 09.00 and 15.00 and would equate to 4 - 6 movements per hour. A separate pedestrian access would be created and the details would be secured by a condition. There would be acceptable levels of visibility at the junction with Church Green, Dumers Lane and Bury Street.

The Traffic Section has no objections in principle to the proposed development and further comments will be reported in the Supplementary Report.

#### **Response to objectors**

- The issues relating to noise during construction, privacy and loss of light have been assessed in the report above.
- The impact upon property prices and a loss of view are not material planning considerations and cannot be taken into consideration.
- The alternative solution proposed would reduce the amount of playing area available and as such, would not be supported by Sport England and has been discounted.

#### **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during pre-application discussions to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

#### **Conditions/ Reasons**

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered  
ENV0000389C-MMD-DZ-00-DR-T-0213180,  
ENV0000389C-MMD-DZ-CP-DR-T-0213183,



ENV000389C-MMD-DZ-CP-DR-S-0213220 P01,  
 ENV000389C-MMD-DZ-DL-DR-T-0213209 P01.1,  
 ENV000389C-MMD-DZ-CP-DR-T-02132,  
 ENV000389C-MMD-DZ-CP-DR-S-0213222 P01,  
 ENV000389C-MMD-DZ-CP-DR-L-0213195 P01,  
 ENV000389C-MMD-DZ-CP-DR-S-0213223 P01,  
 ENV000389C-MMD-DZ-DL-DR-T-0213206, P01.1,  
 ENV000389C-MMD-DZ-DL-DR-T-0213207 P01.1,  
 ENV000389C-MMD-DZ-DL-DR-T-0213208 P01.1,  
 ENV000389C-MMD-DZ-CP-DR-S-0213221, P01,  
 ENV000389C-MMD-DZ-CP-DR-C-0213204 P02,  
 ENV000389C-MMD-DZ-DL-DR-T-0213182 P01,  
 ENV000389C-MMD-DZ-00-DR-L-0307008 P03,  
 ENV000389C-MMD-DZ-00-DR-L-0307009 P03,  
 ENV000689C-MMD-DZ-CP-DR-L-0213262 P03, Temporary access and compound locations and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. Where during any works on site, unforeseen contamination is suspected or found, or contamination is caused, works on the site shall cease and the Local Planning Authority shall be notified immediately. The developer shall then produce a risk assessment and submit remediation proposals, if required, for approval to the Local Planning Authority. On approval of the remediation strategy, the development shall then be carried out in accordance with the approved details and process including any required timescales.

Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

4. The removal of any trees at Close Park, assessed as having low or moderate bat roosting potential as detailed in the Technical Note - Scheme for Bat Tree Potential Roost Assessment (PRA), Mott Macdonald dated 4th December 2018 as already submitted with the planning application and agreed in principle with the LPA prior to determination, shall be soft felled as detailed in the second bullet of section 4 of this report.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.

5. The development off Morris Street shall be carried out in accordance with the recommendations of the Radcliffe and Redvales - Phase 2 Protected Species Survey Technical Note - Otters Mott MacDonald dated 4th December 2018 Section 4, relevant to this section of the River as already submitted with the planning application and agreed in principle with the Local Planning Authority prior to determination.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.

6. No works to trees or shrubs shall occur between the 1st March and 31st August in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 - Conservation of the Natural Environment and EN6/3 - Features of Ecological Value of the Bury Unitary Development Plan and National

7. Prior to any earthworks a method statement detailing eradication and/or control and/or avoidance measures for himalayan balsam, japanese knotweed and giant hogweed should be submitted to and approved in writing by the Local Planning Authority. The agreed method statement shall be adhered to and implemented in full  
Reason. The scheme does not provide full details of the actual extent of Japanese Knotweed and Himalayan Balsam in the interest of UDP Policy EN9 - Landscape and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
9. The landscaping schemes for Close Park and Morris Street hereby approved shall be implemented not later than 12 months from the date the building(s) is first occupied. Any trees or shrubs removed, dying or becoming severely damaged or becoming seriously diseased within 5 years of planting shall be replaced by trees or shrubs of a similar size and species to those originally required to be planted to the written satisfaction of the Local Planning Authority.  
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
10.
  - A phased programme of archaeological fieldwork shall be carried out and shall include:
    - archaeological evaluation trenching at Close Park
    - dependent on the above, targeted further excavation
    - Should Tower Street be selected as the approved access route for the development, an approved scheme that minimises impact upon the Scheduled Monument should be agreed in consultation with GMAAS and Historic England
  - A programme for post investigation assessment to include:
    - analysis of the site investigation records and finds
    - production of a final report
  - Provision for dissemination of the results of the investigations commensurate with their significance.
  - A scheme for community engagement
  - Provision for archive deposition of the report, finds and records of the site investigation.
  - Nomination of a competent person or persons/organisation to undertake the programme set-out within the approved WSIs.Reason. To make a record of buildings and features of archaeological interest pursuant to policies EN3/1 – Impact of Development on Archaeological Sites, EN3/2 – Development Affecting Archaeological Sites and EN3/3 – Ancient Monuments of the Bury Unitary Development Plan.
11. Piling or any other foundation designs using penetrative methods shall not be permitted other than with the express written consent of the local planning authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to groundwater. The development shall be carried out in accordance with the approved details.  
Reason. To ensure that the development does not contribute to, or is not put at unacceptable risk from/adversely affected by, unacceptable levels of water pollution in line with paragraph 170 of the National Planning Policy Framework.
12. The development shall not be considered complete until a verification report demonstrating completion of works set out in the approved remediation strategy and the effectiveness of the remediation shall be submitted to and approved in writing, by the local planning authority. The report shall include results of sampling

and monitoring carried out in accordance with the approved verification plan to demonstrate that the site remediation criteria have been met. It shall also include any plan (a "long-term monitoring and maintenance plan") for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action, as identified in the verification plan. The long-term monitoring and maintenance plan shall be implemented as approved.

Reason: To ensure that the development does not contribute to, or is not put at unacceptable risk from/adversely affected by, unacceptable levels of water pollution in line with paragraph 170 of the National Planning Policy Framework.

13. Within 1 month of the date of decision, a scheme for the provision of facilities to deal with the safeguarding issue shall be submitted to and approved in writing by the Local Planning Authority.

The approved details shall be implemented in accordance with a timetable to be agreed in writing with the Local Planning Authority.

Reason: To ensure that the sports facilities are fit for purpose and to accord with Policy RT1/1 - Protection of Recreation Provision in the Urban Area of the Bury Unitary Development Plan and paragraph 97 of the NPPF.

14. No development shall commence until the following document has been submitted to and approved in writing by the Local Planning Authority after consultation with Sport England:

- A detailed Scheme for the replacement playing field shown shaded green on drawing ENV0000389C-MMD-DZ-CP-DR-L-0213262 and based on the recommendations of the Agronomy Report prepared by PSD Agronomy dated 21st December 2018. The Scheme shall include a written specification and plans of the proposed soils structure, proposed drainage, reinstatement of the areas shown on plan 'Temporary Access and Compound Locations', cultivation and other operations associated with grass and sports turf establishment and a programme of implementation and maintenance.
- Within 3 months of the establishment of the replacement playing field or start of the first football season after establishment, whichever is sooner, the football pitches shall be reinstated in accordance with the Football Association recommended dimensions and run off areas, and after consultation with Sport England.
- The approved Scheme shall be carried out in full and in accordance with the approved programme of implementation. The land shall thereafter be maintained in accordance with the Scheme and made available for playing field use in accordance with the Scheme.

Reason: To ensure that the playing field is prepared to an adequate standard and is fit for purpose and to accord with Policy RT1/1 - Protection of Recreation Provision in the Urban Area of the Bury Unitary Development Plan and paragraph 97 of the NPPF.

15. No development shall commence until a scheme to ensure either:

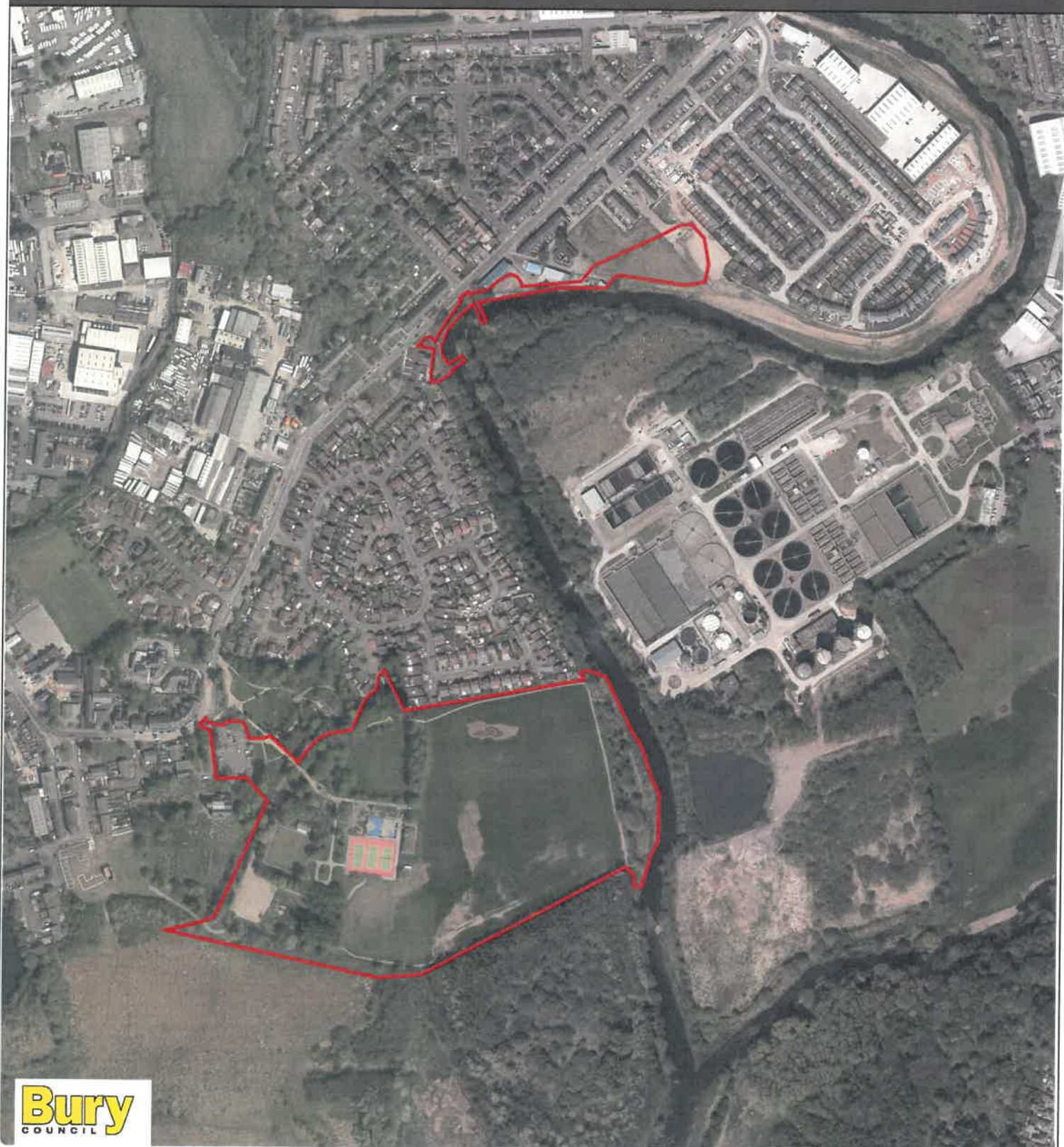
- the continuity of the existing sports use of the playing fields and pavilion shown on Drawing No. ENV0000389C-MMD-00-DR-L 0307008; or
- the provision of replacement facilities during construction works has been submitted to and approved in writing by the Local Planning Authority after consultation with Sport England. The scheme must set out details of the size, location, type and make-up of the facilities or replacement facilities (as appropriate) together with arrangements for access. The scheme must include a timetable for the provision of the facilities or replacement facilities (as appropriate). The approved scheme shall be implemented and complied with in full throughout the carrying out of the development.

Reason: To protect playing fields/sports facilities from damage, loss or availability of use during the construction of the development and to accord with Policy RT1/1

- Protection of Recreation Provision in the Urban Area of the Bury Unitary Development Plan and paragraph 97 of the NPPF.

16. No development shall commence until details of the design and layout of the equipment container have been submitted to and approved in writing by the Local Planning Authority after consultation with Sport England. The equipment container shall not be constructed other than in accordance with the approved details.  
Reason: To ensure the development is fit for purpose and sustainable and to accord with Policy RT1/1 - Protection of Recreation Provision in the Urban Area of the Bury Unitary Development Plan and paragraph 97 of the NPPF.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**



Production Date: 11 Mar 2019

Scale 5500

when printed at A4

© Bury Council 2019

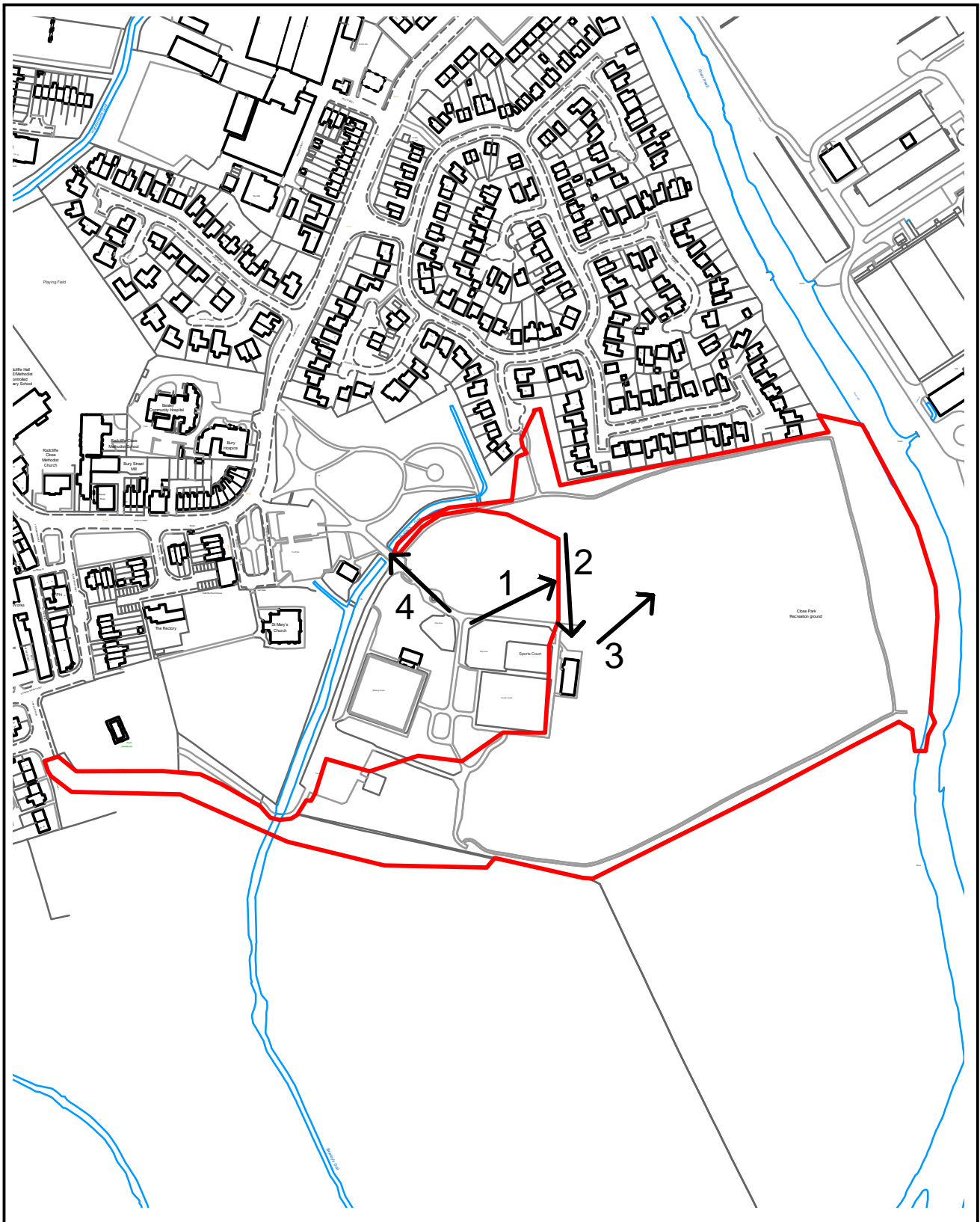
WML Update 18-07-2017

© Crown Copyright and Database Rights 2019. OS 100023063.

Notes



## Viewpoints 1-4



### PLANNING APPLICATION LOCATION PLAN

**APP. NO 63559**

**ADDRESS: Close Park  
Radcliffe**

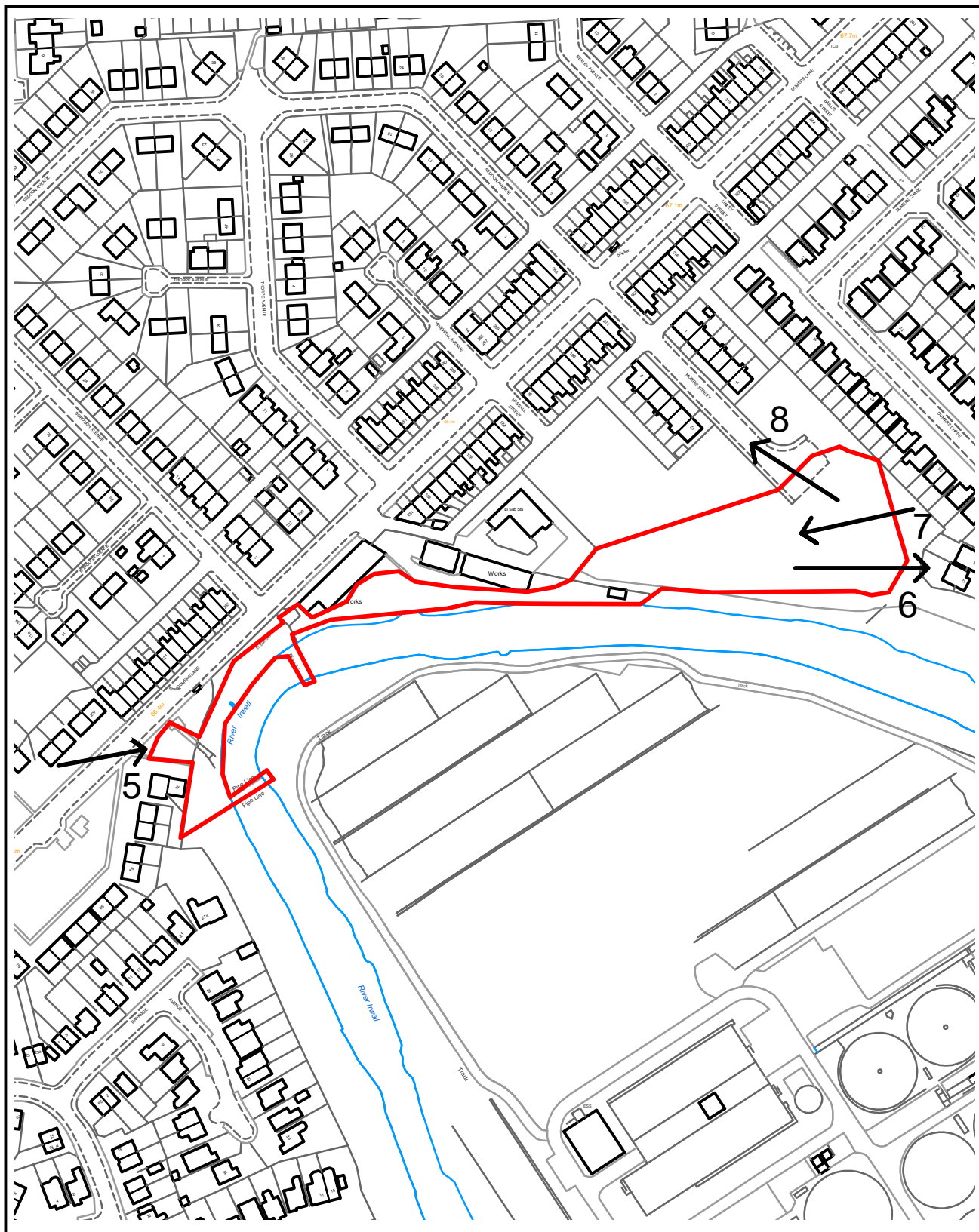
**Planning, Environmental and Regulatory Services**

**(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.**



**Bury**  
COUNCIL

## Viewpoints 5-8



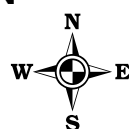
### PLANNING APPLICATION LOCATION PLAN

**APP. NO 63559**

**ADDRESS: Morris Street  
Radcliffe**

**Planning, Environmental and Regulatory Services**

**(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.**



**Bury**  
COUNCIL



63559

Photo 1



Photo 2





63559

Photo 3



Photo 4





63559

Photo 5



Photo 6



63559

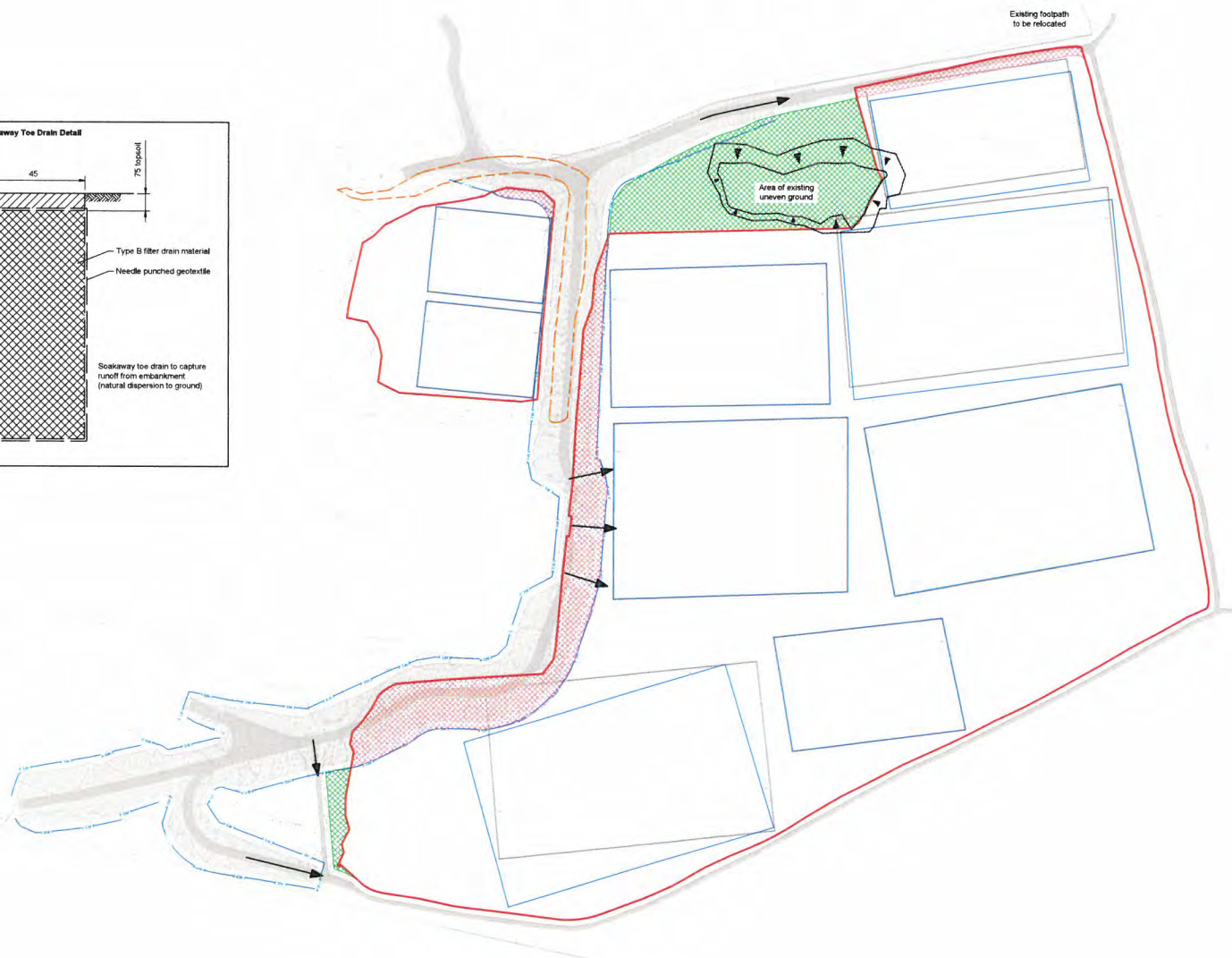
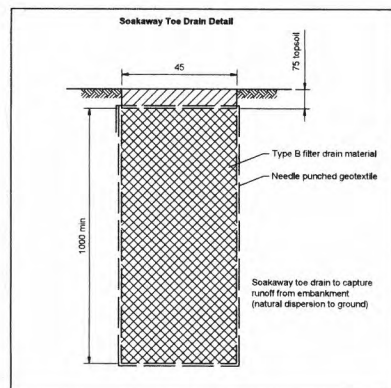
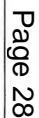
Photo 7



Photo 8







	Notes
--	-------

### Proposed Changes in Playable Area

- Existing Playable Area: 48,414m<sup>2</sup>
- Proposed Playable Area: 48,958m<sup>2</sup>
- Change in Playable Area: +544m<sup>2</sup>

### Proposed Pitches

- Blue outline indicates potential realigned pitch layout to retain existing pitches within new playable area
- Playable area includes minimum 2m buffer to hard surfaces
- Proposed playable area boundary assumes reprofiling of area of existing uneven ground as part of works

## Key to symbols

- |  |   |
|--|---|
|  | Existing playable area                  |
|  | Existing pitch marking                  |
|  | Existing raised ground/bund             |
|  | Proposed realigned pitch marking        |
|  | Proposed defence footprint              |
|  | Proposed increase in playable area      |
|  | Proposed decrease in playable area      |
|  | Proposed footpath                       |
|  | Ground surface contour (0.2m)           |
|  | Proposed access route to playing fields |
|  | Proposed soakaway toe drain             |

## Reference drawings

[illegible]

P01	10/01/19	JS	First issue	JS	JS
P02	11/01/19	SP	Updated	JS	JS
Rev	Date	Drawn	Description	Ch'k'd	App'd

Status Stamp

NOT FOR CONSTRUCTION



Spring Bank House  
33 Stamford Street  
Aldincham  
WA14 1ES  
United Kingdom  
T +44 (0)161 926 4000  
F +44 (0)161 926 4100  
W [www.motimac.com](http://www.motimac.com)

Client	
--------	--

Environment Agency  
Richard Fairclough House  
Knutsford Road  
Warrington  
WA4 1HG

Title
-------

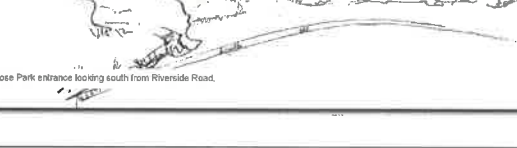
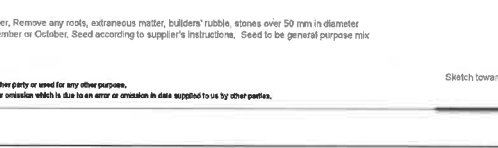
Radcliffe & Redvales FRMS  
Detailed Design Phase 1  
Close Park Sports Pitches  
Existing and Potential Layouts  
Sheet 01 of 01

Designed	S Parkinson	---	Eng check	J.E.STARLING	JS
Drawn	S.T.PARKINSON	SP	Coordination	J.E.STARLING	JS
Dwg check	J.E.STARLING	JS	Approved	J.E.STARLING	JS

Eng Check	2/22/2019	JS	Approved	J.E. STARLING	JS
MMD Project Number <b>399533</b>		Scale at A1 <b>1:1000</b>			Security <b>STD</b>

Suitability Description	Suit. Code
<b>Suitable for Information</b>	<b>S2</b>

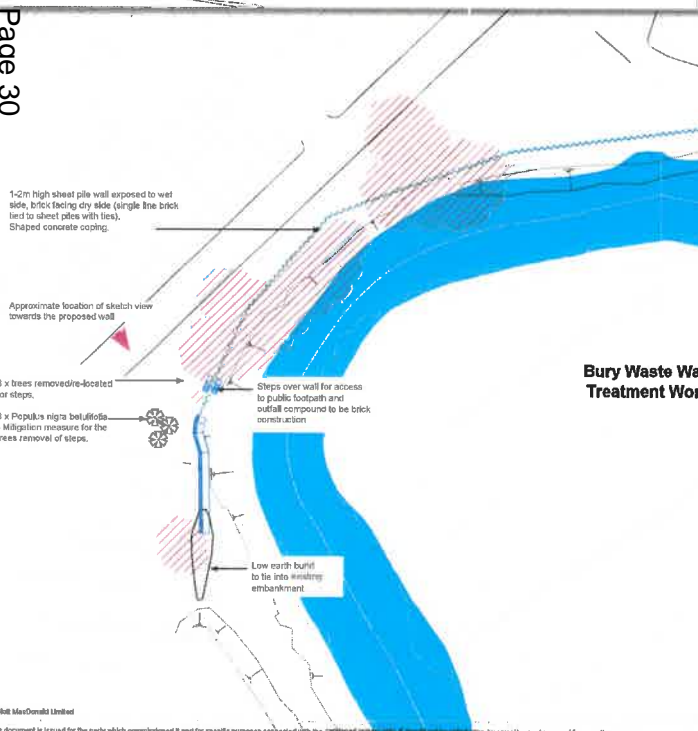
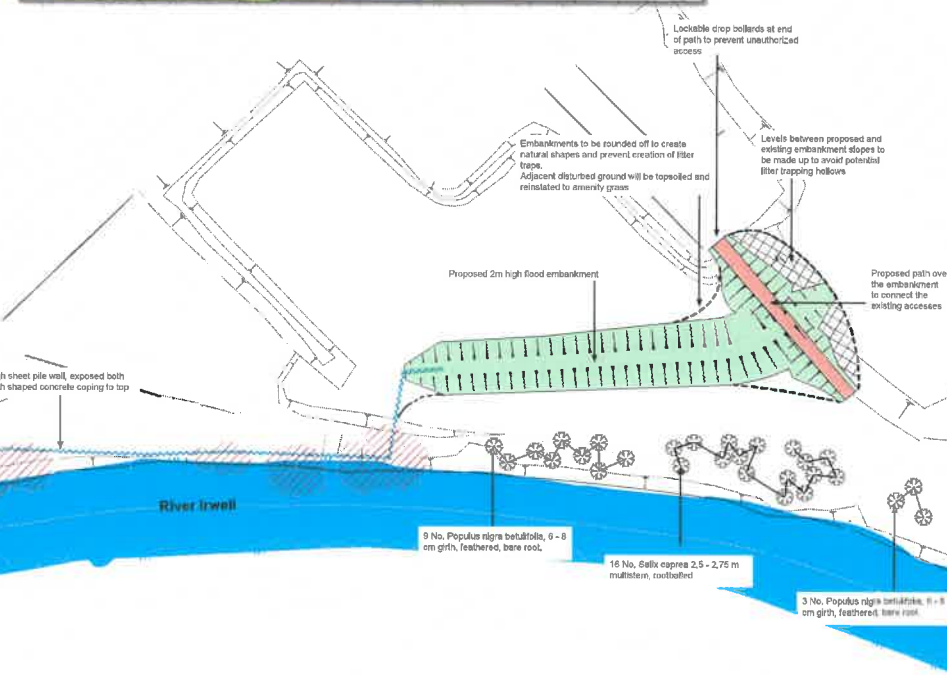
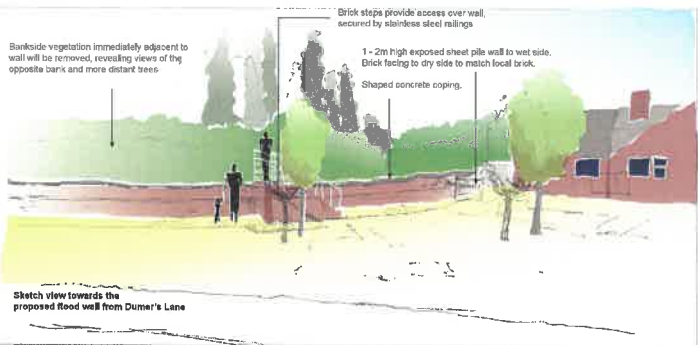
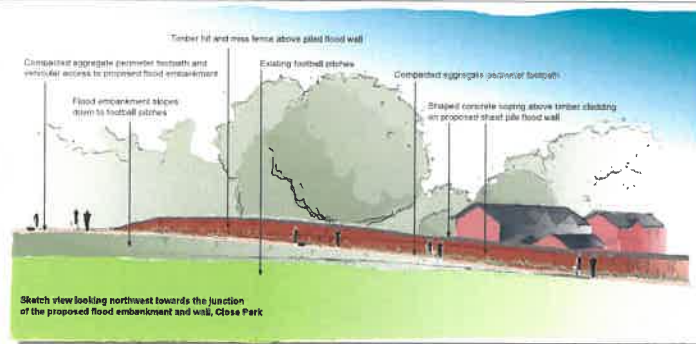
Drawing Number	Revision
ENV0000389C-MMD-DZ-CP-DR-L-0213262	P02



100

[illegible]





## Bury Waste Water Treatment Works

## NOTES

**Planting** should ideally be carried out between November and March, but not during periods of frost or drying winds.

Prior to planting, all addresses material should be removed from these planting areas and all weed and or grass growth sprayed with a suitable herbicide allowing sufficient time to dry before. Herbicide opensives shall hold, and be able to produce if requested, all necessary licenses and certificates.

During excavation do not sever roots over 10 mm in diameter of existing vegetation to be retained. Individual bare pits shall be in accordance with BS8545-2014. Allow for manuring in finished levels with adjacent areas.

Break up the base of all excavations to a depth of at least 150 mm.

All topped areas for backfilling shall be free of roots, animals material, bulky debris, slopes over 50 mm in diameter and weed growth.

Bark/Excavations using excavated soil topped in 150 mm deep layers, each layer lightly compacted over and spread with granular slow release fertiliser at the manufacturer's recommended rates. 50 mm depth organic material, such as well rotted farm manure or aged mushroom compost, shall be spread over, and incorporated into, the full cultivation depth of free pits. Compost shall have been treated to BS PAS 100 standards.

Prior to removal from containers, all container plants shall be thoroughly watered and allowed to stand for a minimum of 30 minutes.

Single tree stakes are to be provided for each tree and each stem for multimillion trees. Stakes shall be whole sections of softwood 100mm tapered and pressure treated in accordance with BS 4072, 50-75 mm long and sufficient length to extend to 300 mm above ground when driven into the ground. The stakes shall be secured to the trunk of the plant, and drive into the base of the pit after breaking up the base of the pit but before planting the tree. Secure each plant using a single heavy-duty tree tie and support approximately 50 mm from the top of the trunk.

Securely enough to allow wind movement, but not so tightly it chokes the bark.

Plants shall be secured to the trunk of the tree, adequately firmly but not compressed. The trunk of the nursery, adequately firmly but not compressed. Damaged top and or root growth shall be carefully cut back to live wood. All plants must be watered to field capacity on completion, ensuring soil is completely settled and consolidated, but not compressed, around roots.

	Notes:
--	--------

1. For information only, not for construction.
2. Contains public sector information licensed under the Open Government Licence v3.0 (<http://www.nationalarchives.gov.uk/doc/open-government-licence/version/3/>)
3. Contains Ordnance Survey data © Crown copyright and database rights 2017 Ordnance Survey. All rights reserved.
4. ENVIRONMENT AGENCY. OS LICENCE NUMBER: 100026380

## Key to symbols



## Reference drawings

[illegible]

**See drawing for dimensions and grades.**  
**SEE NOTES ON SHEET 10-17 FOR DETAILS**

P03	24/1/18	AD	Third Issue	MB	JS
P02	05/12/16	HW	Issue for planning	MB	JS
<b>P01.1</b>	<b>16/1/18</b>	<b>HW</b>	<b>First Issue</b>	MB	JS
Rev	Date	Drawn	Description	Chk'd	App'd

**NOT FOR CONSTRUCTION**

**M** **M**  
**MOTT**  
**MACDONALD**

Spring Bank House  
33 Stamford Street  
Albionham  
WA14 1ES  
United Kingdom  
T +44 (0)181 926 4000  
F +44 (0)181 926 4100  
W [www.thefinanc.com](http://www.thefinanc.com)

Client	
--------	--

**Environment Agency**  
**Richard Fairclough House**  
**Knutsford Road**  
**Warrington**  
**WA4 1HG**

Time

**Raddcliffe & Redvales FRMS  
Phase 1 - Detailed Design  
Dumers Lane  
Final Landscape Masterplan  
Sheet 01 of 01**

Designed	H Wilcox	HW	Eng check	L Bagshaw	L8
Drawn	H Wilcox	HW	Coordination	J Sterling	J6
Dwg check	M Brewster	MB	Approved	J Sterling	J9

MMD Project Number  
**399533**

Scale at A  
1:100Security  
STD

Suitability Description	
<b>Suitable for Information</b>	

Drawing Number  
ENV0000389C-MMD-DZ-00-DB-L-0307009

Revision  
P03

**Ward:** Whitefield + Unsworth - Pilkington Park

**Item** 02

**Applicant:** McDonald's Restaurants Ltd

**Location:** McDonald's Restaurant, 103 Bury New Road, Whitefield, Manchester, M45 7EG

**Proposal:** Alterations to elevations to include the construction of extensions totalling 52.9m<sup>2</sup> and new cladding to roof and an additional drive thru booth. New shop front glazing, relocated entrance and new boundary fencing. The reconfiguration of the drive thru lane to provide side by side ordering and associated works to the site with new and relocated signage including fascia signage.

**Application Ref:** 63597/Full

**Target Date:** 11/02/2019

**Recommendation:** Approve with Conditions

### **Description**

The application site forms part of the Whitefield District Shopping Centre. There are three buildings on site - the McDonalds restaurant, the Aldi foodstore and a terrace of commercial properties with residential accommodation above. The McDonalds restaurant is single storey with a mansard roof and is constructed from red/brown brick. The site is accessed from Higher Lane, via Fountains Place and there are a series of car parks, with 132 spaces in total serving the centre.

There are commercial properties and a restaurant to the north and Bury New Road forms the boundary to the east with residential and commercial properties beyond. There are residential dwellings and a nursery to the south and residential properties to the west.

The proposed development consists of the following elements;

- extensions to the main restaurant on northern, eastern and western elevations.
- new cladding to the roof
- an additional 'drive thru' booth
- new shop front glazing
- relocated entrance
- new boundary fencing
- reconfiguration of the 'drive thru' lanes to provide side by side ordering.

### **Relevant Planning History**

51778 - Refurbishment of restaurant and patio area at McDonalds Restaurant, 103 Bury New Road, Whitefield. Approved with conditions - 6 November 2009.

53964 - Installation of walk up window on drive thru elevation at McDonalds Restaurant, 103 Bury New Road, Whitefield. Approved with conditions - 7 June 2011.

63598 - Reconfiguration of drive thru lane to provide side by side ordering incorporating new island for signage and associated works to the site; Installation of 2 no. new customer order displays and the relocation of the existing goal post style height restrictor with new and relocated fascia signage; Installation of 4 no. new fascia signs and relocation of 3 no. existing fascia signs at McDonalds Restaurant, 103 Bury New Road, Whitefield. Received - 17 December 2018 - Undecided

63599 - Installation of 10 no. signs to accommodate the new drive thru layout; suite to comprise: 7 no. freestanding signs, 2 no. banner signs and 1 no. side by side directional sign (7 no. internally illuminated signs and 3 no. non-illuminated signs) at McDonalds

Restaurant, 103 Bury New Road, Whitefield. Received - 17 December 2018 - Undecided.

63600 - Installation of 1 no. new internally illuminated box display unit and relocation of 1 no. existing internally illuminated box display unit on existing pole sign at McDonalds Restaurant, 103 Bury New Road, Whitefield. Received - 17 December 2018 - Undecided.

#### ADJACENT SITE

48879 - Extension to existing food store and alterations to car parking provision and external alterations to elevations at Aldi Store, Higher Lane, Whitefield. Approved with conditions - 19 December 2007

62751 - Demolition of 34-36 Fountain Place and the extension of existing car park at 34 - 36 Fountain Place & Aldi Foodstore, Higher Lane, Whitefield. Approved with conditions - 19 June 2018

63212 - Partial demolition of existing structures and erection of replacement Class A1 foodstore with associated access, car parking, servicing and hard and soft landscaping at Aldi Foodstore, Higher Lane, Whitefield. Received - 31 August 2018.

63636 - Demolition of food store and retail terrace. Erection of replacement Class A1 foodstore with associated access, car parking, servicing and hard and soft landscaping at Aldi Foodstore, Higher Lane, Whitefield. Received - 24 December 2018.

#### Publicity

The neighbouring properties were notified by means of a letter on 21 December 2018 and site notices were posted on 3 January 2019.

5 letters have been received from the occupiers of 81, 89 and 93 Bury New Road, which have raised the following issues:

- This site creates a lot of litter and increased use will lead to more litter.
- The site creates noise pollution through traffic, car horns and the communication system.
- Increased air pollution as cars idle while in the queue.
- Increased noise during the day and night. The fact that the ordering points are being moved will not reduce the noise.
- Bins are emptied at anti-social hours in the morning.

The objectors have been notified of the Planning Control Committee meeting.

#### Statutory/Non-Statutory Consultations

**Traffic Section** - No objections in principle and further comments will be reported in the Supplementary Report.

**Pre-start Conditions** - Agent has not yet agreed with pre-start conditions. Further information will be reported in the Supplementary Report.

#### Unitary Development Plan and Policies

EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN7	Pollution Control
EN7/2	Noise Pollution
S1/3	Shopping in District Centres
S2/6	Food and Drink
HT2/4	Car Parking and New Development
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

#### Issues and Analysis



The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Principle** - The building is currently used as a hot food restaurant with a drive through facility and this would not change. As such, the principle of the use is established.

**Visual amenity** - The proposed extensions would all sit below the existing roof and would be constructed from matching materials. As such, the proposed extensions would be viewed against the existing building and would not be prominent within the streetscape. The existing yard area, which is fenced at the rear would be extended over the existing hardstanding to measure 8.3 metres by 4.6 metres and would be enclosed in khaki coloured timber fencing, which would match the materials for the proposed building.

The proposed development includes an alteration to the roofing material, which would be khaki green aluminum composite panelling with a timber effect aluminium louver slats and the existing collection booths would be clad in grey aluminium cladding. The proposed materials would not impact upon the character of the building and would be appropriate. Therefore, the proposed development would not be a prominent feature in the streetscene and would be in accordance with Policy EN1/2 of the Bury Unitary Development Plan.

**Residential amenity** - Currently, the ordering points for the 'drive thru' are located on the southern elevation. The proposed development would relocate the ordering points to the eastern elevation and these would be some 22.7 metres from the nearest residential property. The collection points would all be located on the western elevation and would be 27 metres from the nearest residential property.

Whilst the proposed development would increase the capacity at the site, the proposed development, through the addition of a third collection booth, would ensure that the traffic flow through the site would be more efficient. In addition, the proposed development would remove the circulation lane, which is adjacent to the residential properties, which would reduce noise levels. The increase in traffic would likely result in a small increase in noise overall, however, given the background noise from traffic on the adjacent A56 and the separation distance to the residential properties is 22 metres to the ordering point and 14 metres to the access, the proposed development would not have a significant adverse impact in terms of noise upon the occupiers of the neighbouring properties. The applicant has provided details of a litter patrol plan and mitigation measures to deal with the noise, which would mitigate any adverse impacts and would be secured by a condition. Therefore, the proposed development would comply with Policy EN7/2 of the Bury Unitary Development Plan.

**Parking** - SPD11 states that the maximum parking standards for A1 (food retail) is 1 space per 16 square metres of floorspace and for a hot food takeaway is 1 space per 8.5 square metres of floorspace. This would equate to 112 spaces for the proposed retail unit and 54 spaces for the hot food takeaway (166 in total).

The proposed development would provide 130 spaces, including 8 disabled bays and 10 'parent and child' spaces. The proposed development is located in close proximity to public transport and as such, the level of parking provision would be acceptable. Therefore, the proposed development would be in accordance with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

### **Response to objectors**

The issues raised by the objectors have been addressed in the report above.

**Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

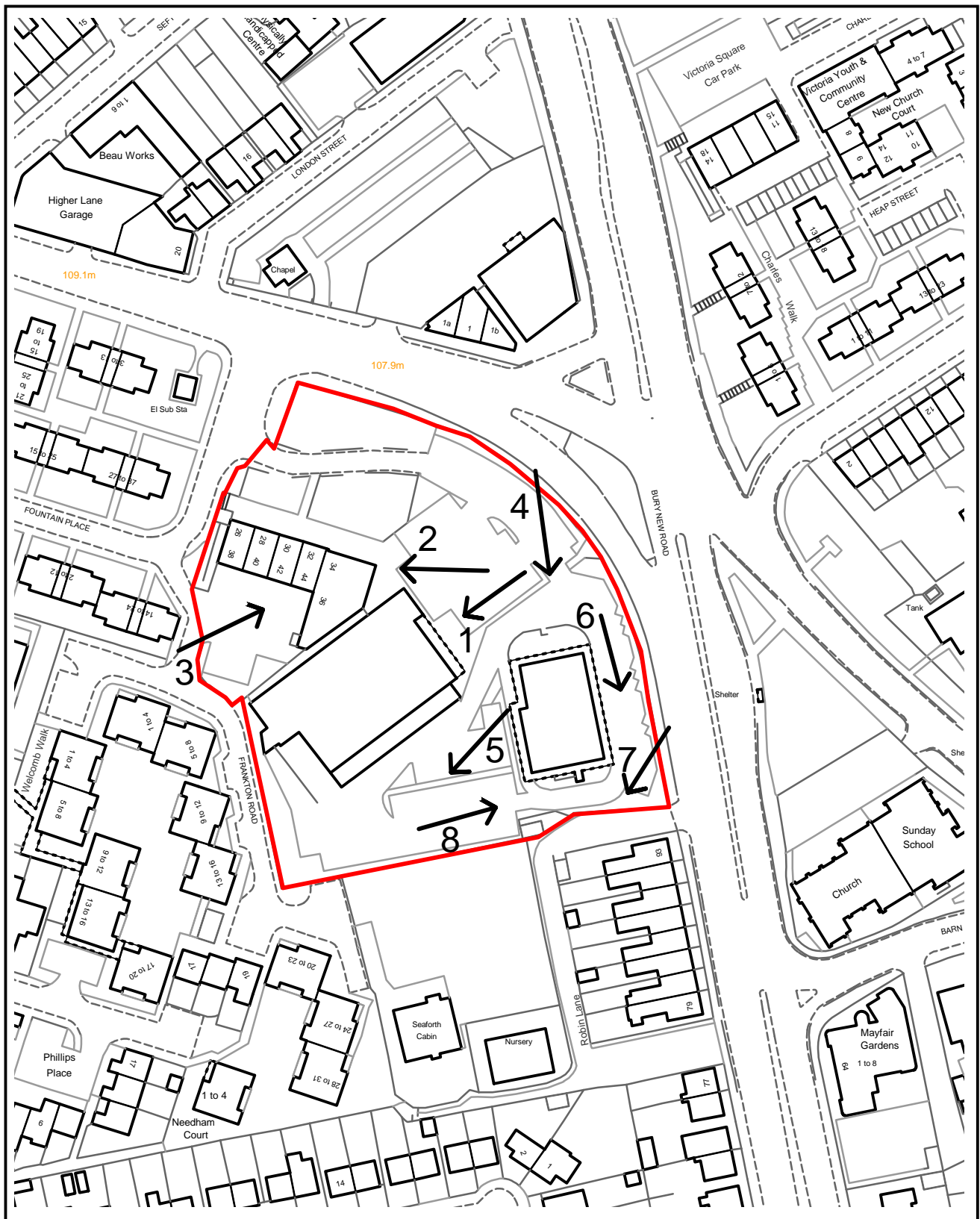
**Recommendation:** Approve with Conditions

**Conditions/ Reasons**

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 7086-AEW-0406-2001 C, 7086-AEW-0409-2002 D, 7086-AEW-0409-2004 D, 7086-AEW-0409-2010, 7086-AEW-0409-0005 E, 7086-AEW-0409-0150 G, McD/043/2013 A and the development shall not be carried out except in accordance with the drawings hereby approved.  
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The external finishing materials for the proposal hereby approved shall match those of the existing building.  
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
4. No external lighting shall be erected at the site unless or until a scheme for baffling has been submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full and maintained thereafter.  
Reason. In the interests of residential amenity pursuant to Policy EN7 - Pollution Control of the Bury Unitary Development Plan.
5. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the extensions hereby approved being first brought into use.  
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
6. The development hereby approved shall be carried out in accordance with the litter patrol plan and the noise mitigation measures, received on 15 March 2019.  
Reason. In the interests of amenity pursuant to Policies S2/6 – Food and Drink and EN7/2 - Noise Pollution of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 63597**

**ADDRESS: McDonalds  
Bury New Road  
Whitefield**

**Planning, Environmental and Regulatory Services**



**Bury**  
COUNCIL

**(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.**



63597

Photo 1



Photo 2





63597

Photo 3



Photo 4





63597

Photo 5



Photo 6



63597

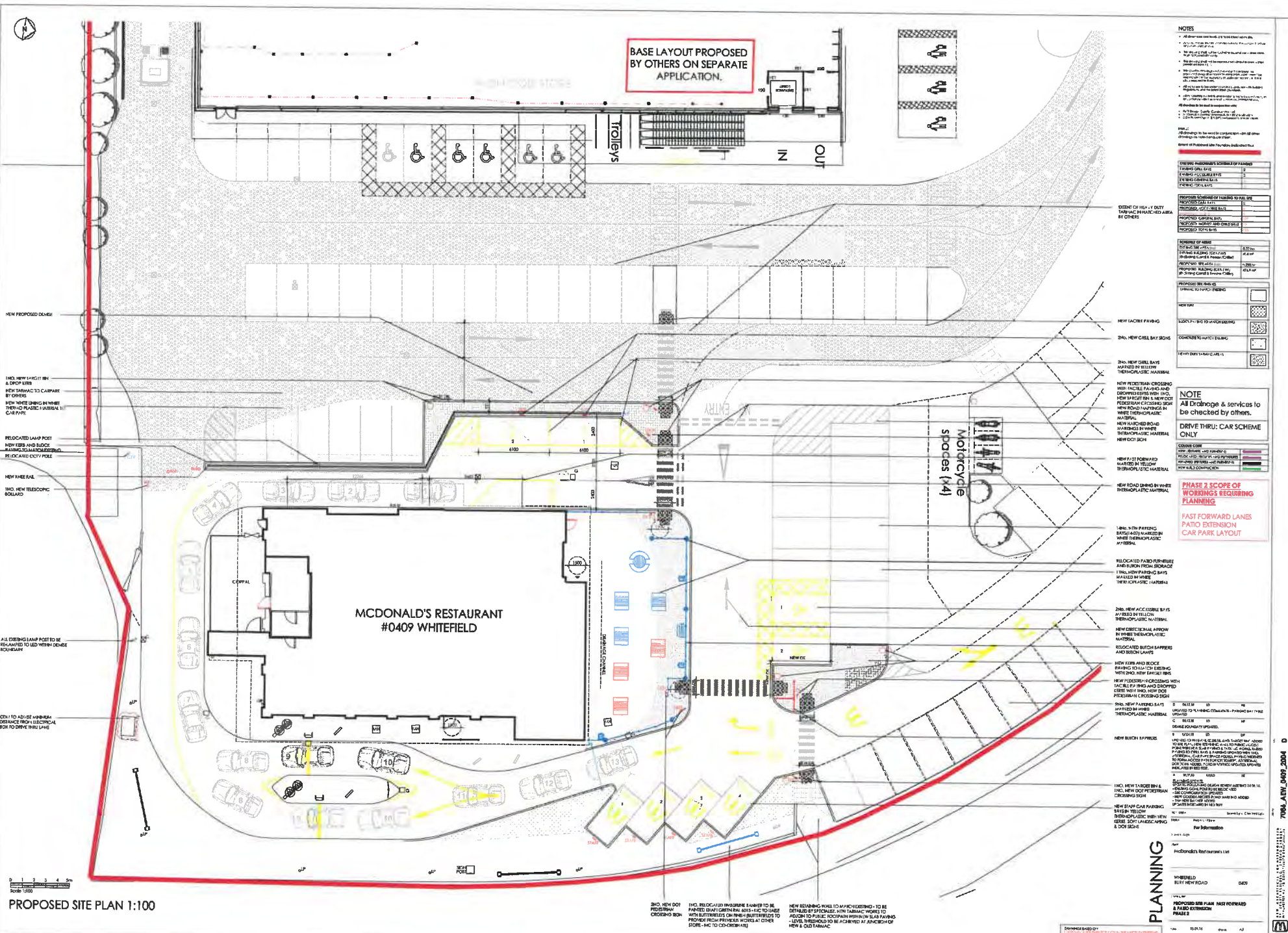
Photo 7



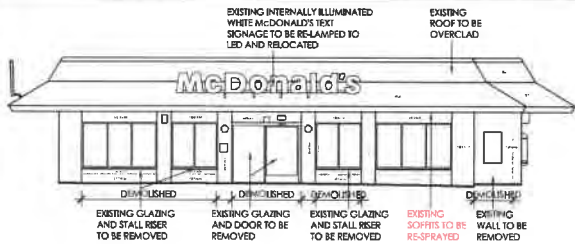
Photo 8



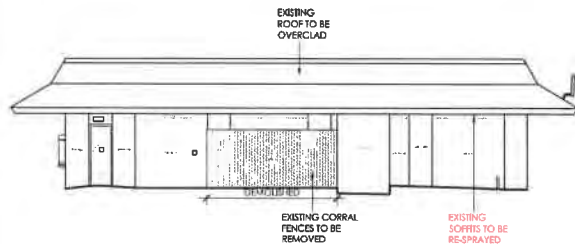




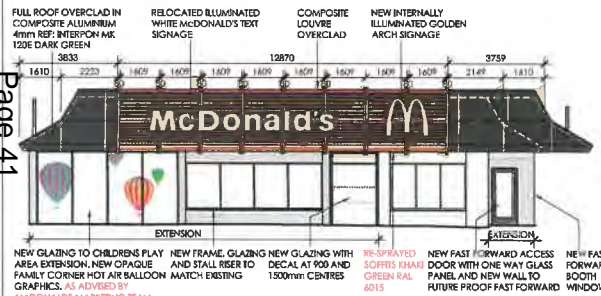




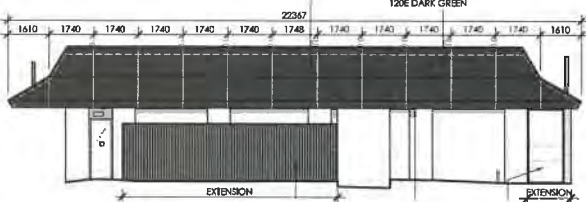
EXISTING ELEVATION A



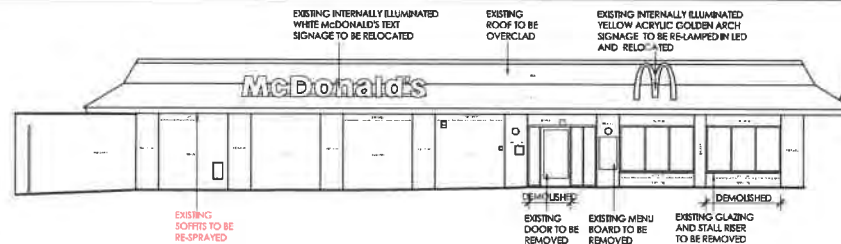
EXISTING ELEVATION C



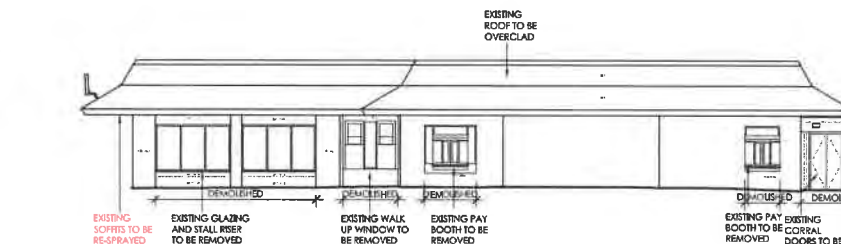
PROPOSED ELEVATION A



PROPOSED ELEVATION C



EXISTING ELEVATION B



EXISTING ELEVATION D



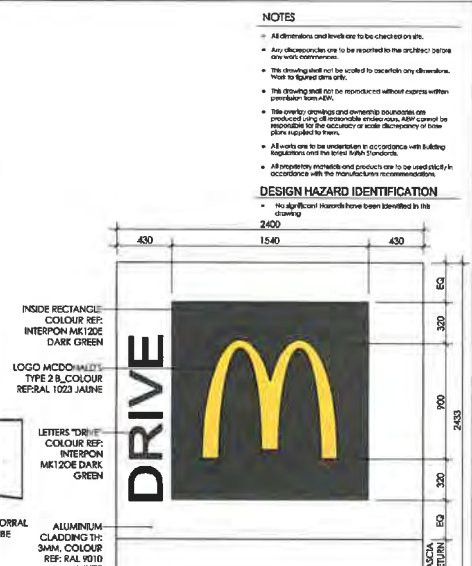
PROPOSED ELEVATION B



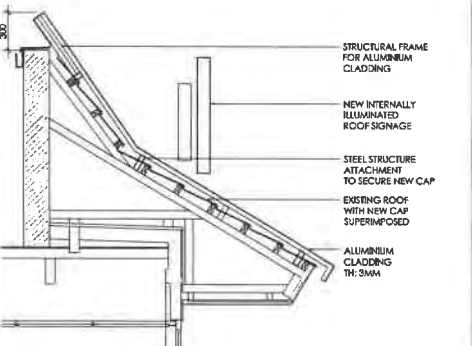
PROPOSED ELEVATION D

BUILDING FINISHES			
DESCRIPTION	EXISTING	PROPOSED	NOTES
ROOF	SLATE	AS EXISTING	
WALLS	BRICK	COMPOSITE ALUMINIUM OVERCLAD BY ALUMINIUM 4mm REF: INTERPON MK 120E DARK GREEN	
WINDOW FRAMES	KHAKI GREEN ALUMINIUM	AS EXISTING	
SCREENS & FASCIAS	KHAKI GREEN ALUMINIUM	RE-SPRAYED KHAKI GREEN RAL 6015	
DOORS	KHAKI GREEN ALUMINIUM	AS EXISTING	
BOOTH WINDOWS (INT. SURROUND)	KHAKI GREEN ALUMINIUM TO BOOTH THASER EFFECT ALL TO SURROUND	AS EXISTING	

PLAN - NTS



CANOPY DETAIL 1:20



TYPICAL SECTION DETAIL 1:20

- NOTES**
- All dimensions and levels are to be checked on site.
  - Any discrepancies are to be reported to the architect before the work commences.
  - This drawing shall not be scaled to ascertain any dimensions, work or finished dimensions.
  - This drawing shall not be reproduced without express written permission from ABC.
  - All works are to be undertaken in accordance with Building Regulations and the relevant standards. ABC cannot be responsible for the accuracy or scale discrepancy of how items are applied to items.
  - All proprietary materials and products are to be used in accordance with the manufacturer's recommendations.

**DESIGN HAZARD IDENTIFICATION**

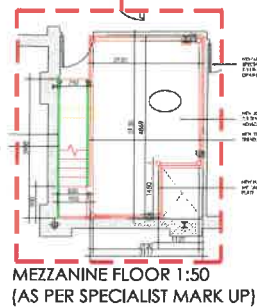
- No significant hazards have been identified in this drawing.

REV	DATE	BY	CHKD	DESCRIPTION
1	20.06.18	AJ	HE	UPDATED TO ALD / McDONALD'S MEETING. CHANGES INDICATED IN RED TEXT
2	20.06.18	AJ	HE	UPDATED TO EASE 2 MEETING NOTES. UPDATES INDICATED IN RED TEXT
3	18.10.17	AJ	HE	PROPOSED SET PLAN UPDATES TO CO-ORDINATE WITH PROPOSED SET DESIGN BY ALD
4	13.06.17	AJ	HE	ENTRANCE AMENDED TO OPTION 2 GA AS PREPARED BY DYP/CLP/UP

For Information

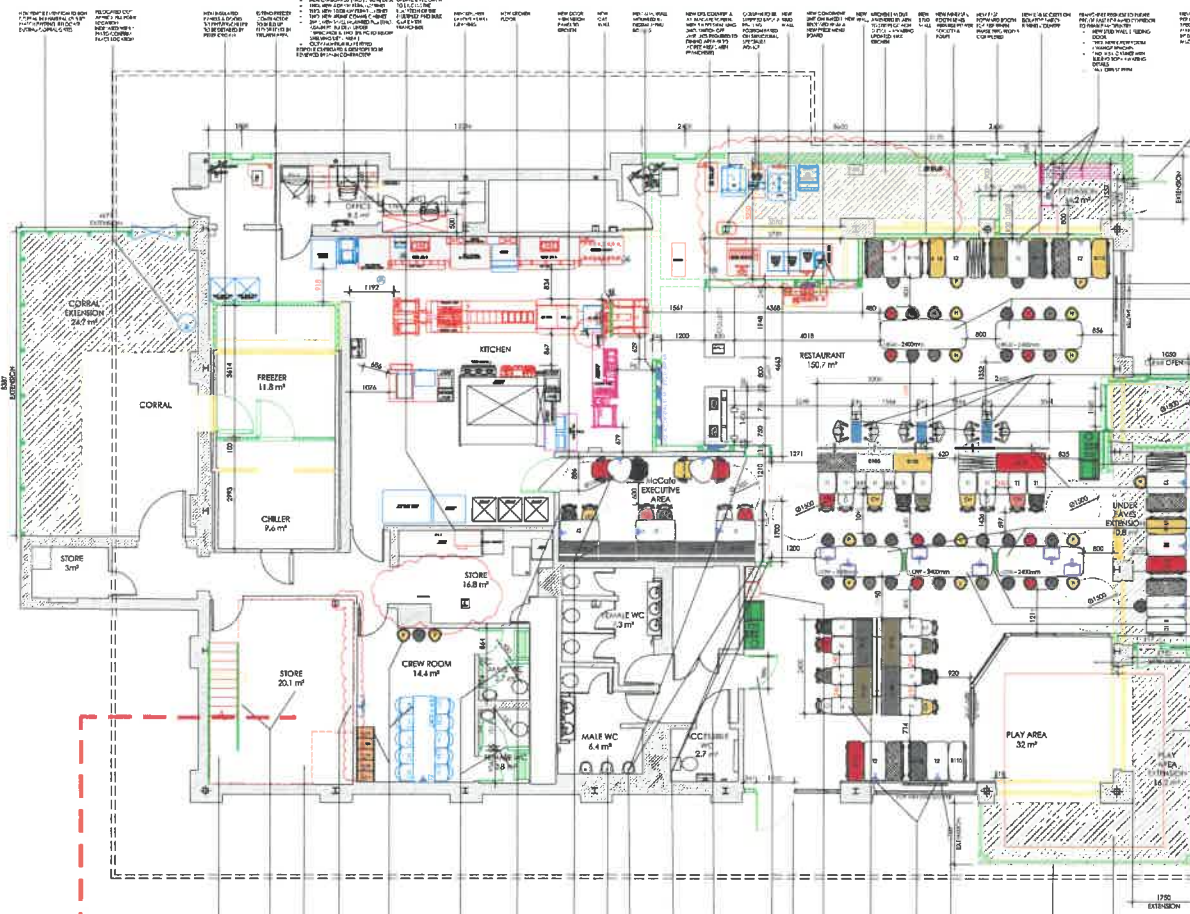
McDonald's Restaurant Ltd  
 project: WHITEFIELD  
 SURRY NEW ROAD 0409

EXISTING & PROPOSED ELEVATIONS  
 PHASE 1  
 date: 07.07.17  
 scale: A3 1:100  
 drawn: AJ  
 checked: HE



MEZZANINE FLOOR 1:50  
{AS PER SPECIALIST MARK UP}

PROPOSED GENERAL ARRANGEMENT PLAN - OPTION 1 1:50



## NOTES

- [illegible]

### DESIGN HAZARD IDENTIFICATION

doi:10.1017/S0022292410000507

REIMAGE  
MINI MAX

PROPOSED GENERAL ARRANGEMENT PLAN  
OPTION 2 FRONT UNDER EAVES EXTENSION

STATION 2 FRONT UNDER EAVES EXTENSION

---

Area	07/07/17	08/07/17	AD
1-1000	1-1000	1-1000	1-1000

**Ward:** Whitefield + Unsworth - Pilkington Park

**Item** 03

**Applicant:** Aldi Stores Limited

**Location:** Aldi Foodstore Ltd, Higher Lane, Whitefield, Manchester, M45 7EA

**Proposal:** Demolition of food store and retail terrace. Erection of replacement Class A1 foodstore with associated access, car parking, servicing and hard and soft landscaping

**Application Ref:** 63636/Full

**Target Date:** 25/03/2019

**Recommendation:** Approve with Conditions

### **Description**

The application site forms part of the Whitefield district centre. There are three buildings on site - a terrace of retail units with residential accommodation above, the Aldi foodstore and the McDonalds restaurant.

The terrace is in commercial/retail use at the ground floor with 2 floors of maisonettes above. The building has a pitched roof and is constructed from red/brown brick. The Aldi building is single storey with a pitched roof and has a standard retail unit appearance constructed of red/brown brick, aluminium cladding and grey roof tiles. The McDonalds building is single storey with a mansard roof and is constructed from red/brown brick.

The site is accessed from Higher Lane via Fountains Place and there are a series of car parks, with 132 spaces in total. Servicing for Aldi and McDonalds takes place within the site and the servicing for the terrace takes place at the rear and is accessed from Frankton Road.

There are commercial properties and a restaurant to the north and Bury New Road forms the boundary to the east with residential and commercial properties beyond. There are residential dwellings and a nursery to the south and residential properties to the west.

The proposed development involves the demolition of the terrace (residential, commercial and retail units) and the Aldi foodstore and erection of a single retail unit in the south western corner of the site. The proposed building would be single storey with a monopitch roof and would be constructed from light and dark grey metal cladding. The proposed building would be 5.6 metres at its lowest point and 8.5 metres at its highest point.

The proposed development would be accessed from the existing access on Higher Lane via Fountain Place and the car parking layout would be modified. All servicing would take place within the application site.

### **Relevant Planning History**

48879 - Extension to existing food store and alterations to car parking provision and external alterations to elevations at Aldi store, Higher Lane, Whitefield. Approved with conditions - 19 December 2007.

58890 - Demolition of store at rear; erection of single storey extension at front and rear; provision of new entrance portico and trolley store; amendments to car park layout and new LED lighting to existing lighting columns at Aldi store, Higher Lane, Whitefield. Approved with conditions - 1 September 2015.



62751 - Demolition of 34-36 Fountain Place and the extension of existing car park at 34 - 36 Fountain Place and Aldi Foodstore, Higher Lane, Whitefield. Approved with conditions - 20 June 2018.

Adjacent site (McDonalds)

51778 - Refurbishment of restaurant and patio area at McDonalds, 103 Bury New Road, Whitefield. Approved with conditions - 6 November 2009.

63029 - Alterations to elevations to include the construction of extensions totalling 79.6m<sup>2</sup> and new cladding to roof and an additional drive thru booth. New shop front glazing, relocated entrance and new boundary fencing. The reconfiguration of the drive thru lane to provide side by side ordering and associated works to the site with new and relocated signage including fascia signage at McDonalds, 103 Bury New Road, Whitefield. Withdrawn - 28 September 2018.

63597 - Alterations to elevations to include the construction of extensions totalling 52.9m<sup>2</sup> and new cladding to roof and an additional drive thru booth. New shop front glazing, relocated entrance and new boundary fencing. The reconfiguration of the drive thru lane to provide side by side ordering and associated works to the site with new and relocated signage including fascia signage at McDonalds Restaurant, 103 Bury New Road, Whitefield. Received - 17 December 2018.

63212 - Partial demolition of existing structures and erection of replacement Class A1 foodstore with associated access, car parking, servicing and hard and soft landscaping at Aldi Foodstore, Higher Lane, Whitefield. Received - 31 August 2018

02003/E - Demolition of existing Aldi store and shops and the erection of a replacement Aldi store with associated parking and servicing areas - Enquiry completed 25/08/2017

### **Publicity**

The neighbouring properties were notified by means of a letter on 4 January 2019 and a press notice was posted in the Bury Times on 10 January 2019. Site notices were posted on 9 January 2019.

4 letters have been received from the occupiers of 8, 22 Frankton Road, 13 Sefton Street, 89 Bury New Road, which have raised the following issues:

- Concerned about the proximity of the delivery vehicles to houses on Bury New Road. The lorries deliver and empty skips in the early hours. Lorries delivering frozen goods are particularly loud as drivers do not turn the units off while unloading.
- This will become worse as the Aldi lorries will be closer to our properties. Can anything be done to ensure noise restriction and avoidance of traffic fumes?
- I am not opposed to the proposal, but it does not take into account the use of the car park by local businesses, such as the garage and bathroom showroom opposite.
- I object most strongly to the enlargement of the Aldi store and the inevitable increase in traffic.
- I objected to a previous extension in 2015 and the previous application and the air/noise pollution that this would bring.
- An increase in shopping traffic and more frequent deliveries would worsen the high levels of nitrogen dioxide in this area.
- The Council will be failing to act on the dangerous levels of pollution and its fatal impact upon the lives of residents.
- We need more trees, not traffic.
- My only concern is with extra noise especially early in the morning.
- I would ask that a wall is built around the shopping centre to act as a noise barrier and to protect the privacy of residents.

The objectors have been notified of the Planning Control Committee meeting.

### **Statutory/Non-Statutory Consultations**

**Traffic Section** - No objections in principle. Further comments to be reported in the Supplementary Report.

**Drainage Section** - No response.

**Environmental Health - Contaminated Land** - No objections, subject to the inclusion of conditions relating to contaminated land and asbestos.

**Environmental Health - Air Quality** - No objections, subject to the inclusion of a condition relating to electric charging points.

**Environmental Health - Pollution Control** - No comments.

**Waste Management** - No response.

**Design for security** - No objections.

**United Utilities** - No objections, subject to the inclusion of conditions relating to foul and surface water drainage.

**GM Ecology Unit** - No objections, subject to the inclusion of informatives relating to bats and nesting birds.

**Pre-start Conditions** - Applicant/Agent [Not relevant/has/has not] agreed with pre-start conditions

### **Unitary Development Plan and Policies**

EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN1/5	Crime Prevention
EN1/7	Throughroutes and Gateways
EN1/8	Shop Fronts
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN7/2	Noise Pollution
EN7/5	Waste Water Management
S1/3	Shopping in District Centres
S2/1	All New Retail Proposals: Assessment Criteria
S2/3	Secondary Shopping Areas and Frontages
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

### **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Principle (Retail)** - Policy S1/3 states that the Council will support proposals for new shopping development within the Borough's district centres at Whitefield, provided that such development is of a size, scale, function and character appropriate to serve the needs of the local area.

The proposed development involves the demolition of the existing retail units on Fountain Place (532 square metres) and the Aldi store (1,241 square metres), which equate to 1,773 square metres of retail floorspace. The proposed development would provide 1,802 square metres of retail floorspace in a new foodstore. As such, the proposed development would be slightly larger than the existing retail floorspace and would be of a size, scale and character appropriate to meet the needs of the local area. Therefore, the proposed

development would be acceptable in principle and would be in accordance with Policy S1/3 of the Bury Unitary Development Plan and the NPPF.

**Design and layout** - The proposed development would involve the demolition of the existing building and retail units and the erection of a single retail unit in the south western corner of the site. The proposed building would be single storey and would be constructed from grey metal cladding, which would match the existing store and would be appropriate. The northern elevation would be fully glazed and there would be high level glazing along the eastern elevation with an canopy, which would add visual interest to the elevations. Therefore, the proposed development would not be a prominent feature in the locality and would be in accordance with Policy EN1/2 of the Bury Unitary Development Plan.

**Impact upon surrounding area** - The proposed plant equipment would be located in the north western corner of the site, which would be within approx 15 - 20 metres of the residential dwellings on Fountain Place. It is proposed to enclose the plant area with a close boarded timber fence, which would reduce the noise levels.

Deliveries to the site would take place in the south western corner of the site, which would be within 9.5 metres of the residential properties on Frankton Road. The servicing would take place within an unloading dock and as such, the noise levels would be similar to existing. The applicant has provided a servicing management plan, which confirms that there would be 4 deliveries per day between the hours of 06.00 and 23.00 plus the collection of refuse. The following measures would be undertaken for each delivery:

- Deliveries would take a maximum of an hour and engines and refrigeration units would be switched off.
- The unloading dock contains a curtail dock shelter which provides a barrier between the store and service area and reduces noise.
- Drivers will be issued with instructions to be undertaken while delivering to the site - refrigeration unit will be turned off before approaching the store.
- Reversing beepers cannot be switched off due to health and safety reasons
- While vehicles are stationary the engines and radios will be switched off and after dark, headlights will be switched off.
- When manoeuvring in the site, drivers will engage gears quietly, keep engine revs to a minimum, apply brakes gently and close the drivers door quietly

The Pollution Control Section has no objections to the proposed development. As such, providing the servicing management plan is adhered to, which will be secured by a condition, the proposed development would not have a significantly adverse impact upon the amenity of the neighbouring properties. Therefore, the proposed development would be in accordance with Policy EN7/2 of the Bury Unitary Development Plan.

**Impact upon residential amenity** - SPD6 provides guidance on aspect standards between residential properties. However it would be a useful guide to assessing the impact of the height of the proposed development on the adjacent residential properties.

The aspect standards states that there should be a minimum of 20 metres between directly facing habitable windows and 13 metres between a habitable room window and a two storey blank wall.

The proposed building would be 5.4 metres in height rising to 8.3 metres in height on the eastern elevation. An average dwelling would be between 5 and 6 metres in height to the eaves and 8 metres in height overall. At 5.4 metres in height, the proposed building would be lower than a 2 storey dwelling adjacent to the dwellings on Frankton Road.

There would be 13.3 metres between No. 13 Frankton Road and the proposed building and 18.4 metres between No. 20 Frankton Road and the proposed building, which would be in excess of the 13 metre aspect standard. Therefore, the proposed development would not have a significant adverse impact upon the amenity of the neighbouring properties.

**Bats** - A bat survey was submitted with the planning application and states that no bats

emerged from the building during the dusk emergence survey. Two bats were seen foraging along the western side of the building. There is low potential for bats to utilise the building for roosting and works to demolish the building should be undertaken under reasonable avoidance measures. GM Ecology Unit has no objections, subject to the inclusion of informatives relating to bats and nesting birds.. Therefore, the proposed development would not impact upon protected species and would be in accordance with Policy EN6 and EN6/3 of the Bury Unitary Development Plan and the NPPF.

**Highways issues** - The site is currently accessed from Higher Lane via Fountain Place and servicing takes place at the rear of the site via Frankton Road. The proposed development would change the access arrangements and all traffic (customers and deliveries) would utilise the access from Fountain Place. The proposed access would be widened and a pedestrian refuge would be provided. The proposed development would result in a marginal increase (74 square metres) of retail floorspace compared to the existing buildings on site, but the deliveries would be consolidated into 1 store. The Traffic Section has no objections in principle to the scheme and are currently assessing revised plans. Further comments will be reported in the Supplementary Report. Therefore, the proposed development would not be detrimental to highway safety and would be in accordance with Policies EN1/2 and S2/1 of the Bury Unitary Development Plan.

**Parking** - SPD11 states that the maximum parking standards for A1 (food retail) is 1 space per 16 square metres of floorspace and for a hot food takeaway is 1 space per 8.5 square metres of floorspace. This would equate to 112 spaces for the proposed retail unit and 54 spaces for the hot food takeaway (166 in total)

The proposed development would provide 130 spaces, including 8 disabled bays and 10 parent and child spaces. The proposed development is located in close proximity to public transport and as such, the level of parking provision would be acceptable. Therefore, the proposed development would be in accordance with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

#### **Response to objectors**

- The issues relating to noise and deliveries have been addressed in the report above.
- The proposed development would result in an additional 74 square metres of floorspace, which would not result in a significant increase in traffic visiting the site.

#### **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

#### **Conditions/ Reasons**

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 1761BOL-110 B, 1761BOL-111 C, 1761BOL-112 F, 1761BOL-113 A, 1761BOL-114 A, 1761BOL-115 D, 1761BOL-116 A, 1761BOL-118, 1761BOL CGI 01, V1761-L01 D and the development shall not be carried out except in accordance with the drawings

hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.

Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.

4. No development shall commence unless and until:-

- A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the land owned by Aldi as defined on plan 1761BOL-118, shall be submitted to, and approved in writing by, the Local Planning Authority;
- Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
- Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

6. Prior to demolition of the structures on site an asbestos survey is to be carried out by an appropriately qualified contractor. Any asbestos identified should be disposed of in an appropriate manner.

Reason. This is to secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to the National Planning Policy Framework.

7. Prior to occupation of the building hereby approved, the applicant shall provide a scheme for electric vehicle charging points and should contain a charging point for every 1000 m<sup>2</sup> of floorspace.

Reason. In accordance with paragraph 35 and 124 of the NPPF, to encourage the uptake of ultra-low emission vehicles and ensure the development is sustainable. To safeguard residential amenity, public health and quality of life.

8. Foul and surface water shall be drained on separate systems.

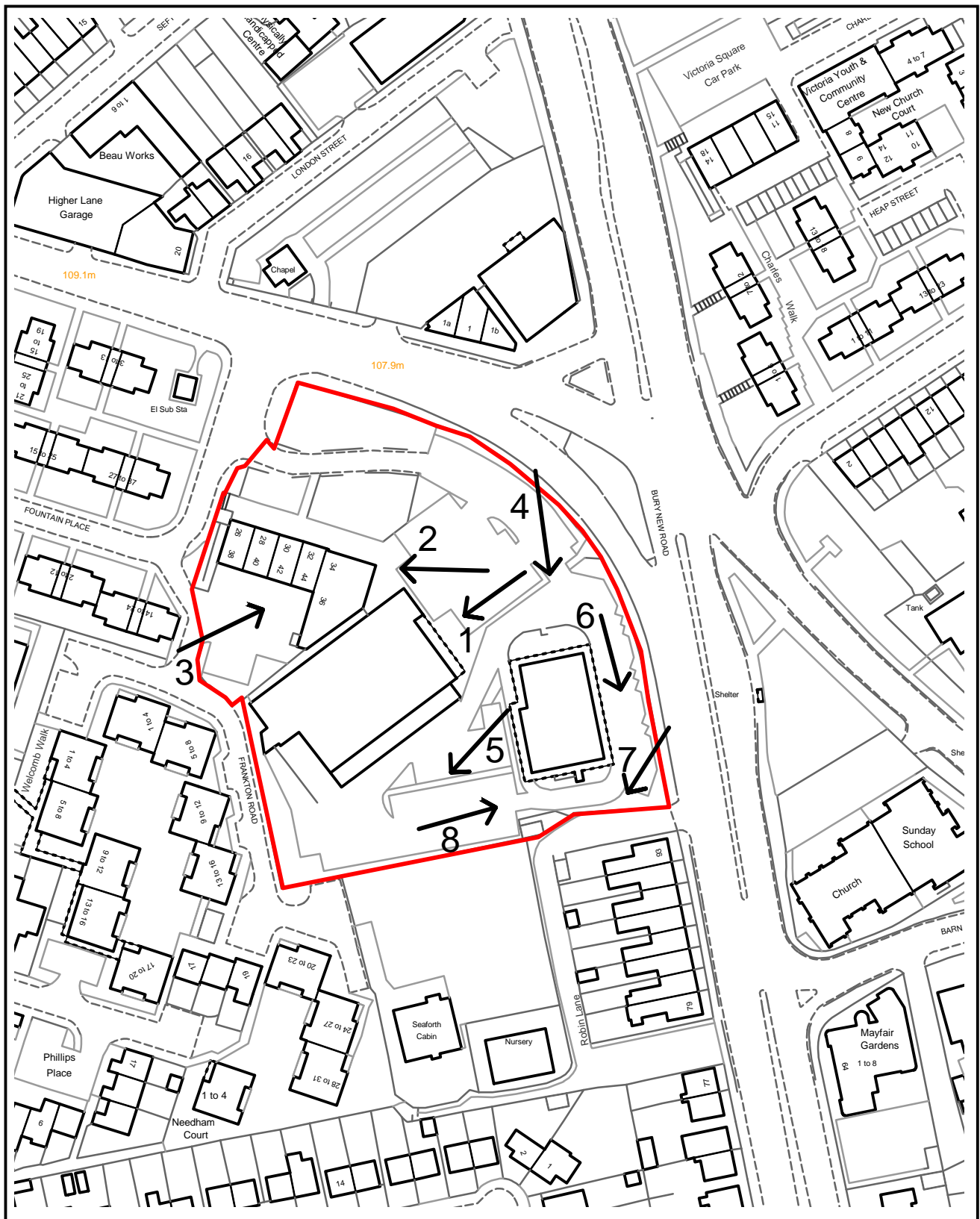
Reason. To secure proper drainage and to manage the risk of flooding and pollution pursuant to Policy EN7/5 - Wastewater Management of the Bury Unitary Development Plan.



9. No development shall commence unless and until surface water drainage proposals for the land owned by Aldi as defined in plan 1761BOL-118, have been submitted to and approved in writing by the Local Planning Authority. The scheme should be in accordance with the submitted Surface Water Sustainable Drainage Assessment and must be based on the hierarchy of drainage options in the National Planning Practice Guidance and be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include assessment of potential SuDS options for surface water drainage with appropriate calculations and test results to support the chosen solution. Details of proposed maintenance arrangements should also be provided. The approved scheme only shall be implemented prior to first occupation and thereafter maintained.  
Reason. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. To promote sustainable development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1- New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
10. If the demolition work hereby approved does not commence before 30th April 2019, the buildings must be reassessed for bat roosting potential and the findings submitted to and approved in writing by the Local Planning Authority before any works to demolish the building commence. Any mitigation measures required shall be fully implemented prior to the commencement of the demolition and shall remain on site until the works have been completed.  
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.
11. No deliveries shall take place to the site outside the hours of 06.00 to 23.00. All deliveries must take place in accordance with the Servicing Management Plan, dated 14 February 2019.  
Reason. In the interests of residential amenity pursuant to Policy S2/6 - Hot Food and Drink.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 63636**

**ADDRESS: Aldi  
Higher Lane  
Whitefield  
Planning, Environmental and Regulatory Services**



**Bury**  
COUNCIL

**(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.**

63636

Photo 1



Photo 2





63636

Photo 3



Photo 4





63636

Photo 5



Photo 6



63636

Photo 7



Photo 8





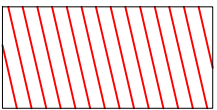


Page 55

Notes:  
Assumed site boundary and site constraints subject to confirmation.  
All legal easements and extent of existing underground services locations are subject to confirmation.

PROPOSED SITE PLAN  
SCALE 1:250 @ A1  
CAD file reference: J:/ALDI/MIDDLETON/1761MDW/100 SERIES

**TOTAL Site Boundary (Red Line)-**  
2.44 Acres/0.98 Hectares

 Proposed buildings to be demolished

C	17.12.18	Red line and area updated	CM	LEEB
B	08.06.18	Demolishing proposals included	CM	LEEB
A	30.07.18	Red line updated	CM	LEEB
Rev	Date	Description	Rev By	CHKD By

Project Title	PROPOSED DEVELOPMENT			
	BURY NEW ROAD WHITEFIELD			
Client	ALDI STORES LTD			
Status	PLANNING			
Scale	1:250	Drawing Size	A1	
Date	26.06.18	Drawn By	RG	Checked LEEB
Drawing Title	EXISTING SITE PLAN			
Job-Dwg No	1761BOL-111			Rev C

2 St. Johns North, Walsley, W17 3QA t. 01924 291800

☐ Carvers Warehouse, 77 Dale Street, Manchester, M1 2HG t. 0161 2388555

☐ The Old Rectory, 79 High Street, Newport Pagnell, MK16 8AB t. 01908 211377

☐ 101 London Road, Reading, RG1 3BY t. 0118 9507700

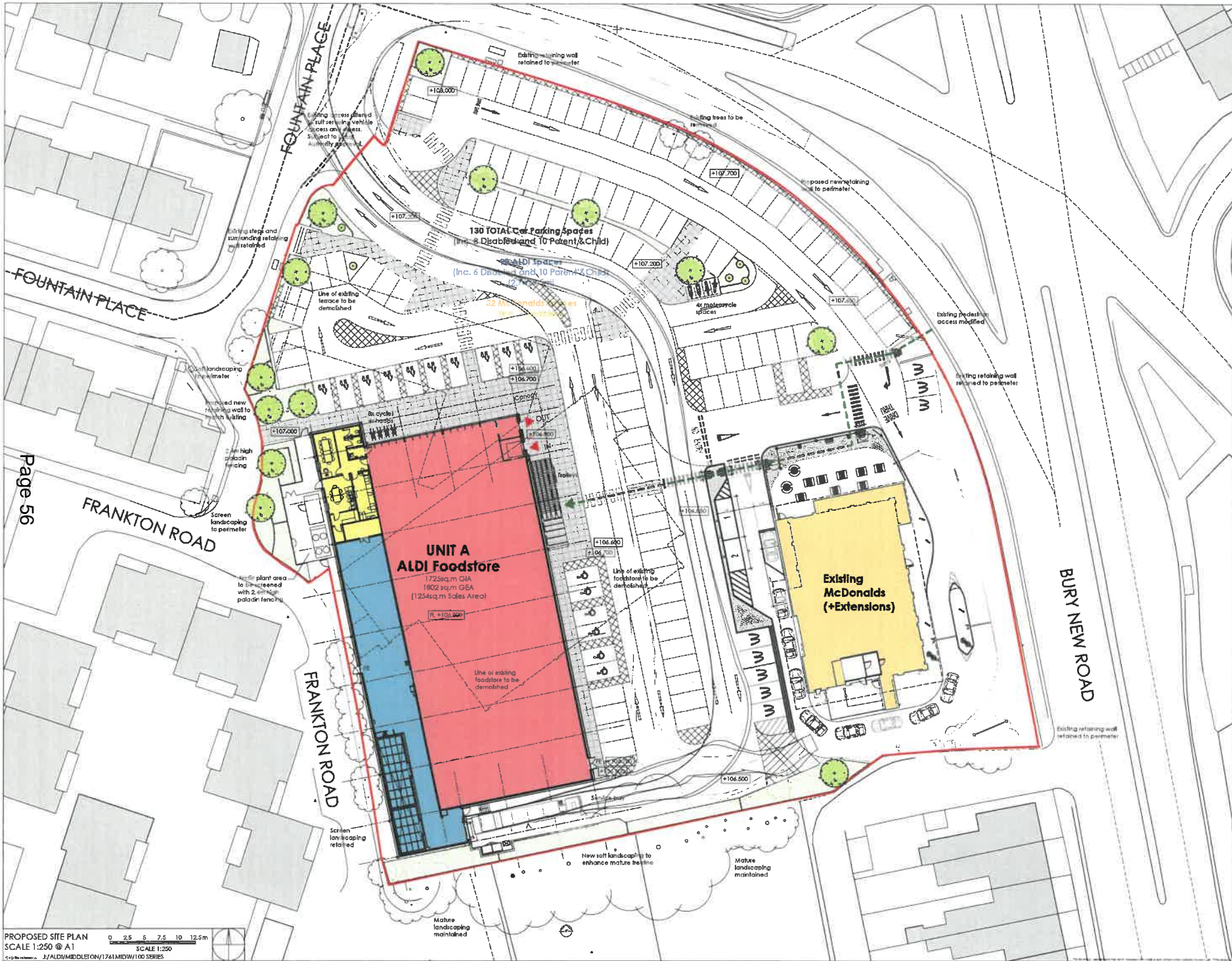
☐ 10 Gees Court, St Christophers Place, London, W10 1JJ t. 0207 4091215



www.harrispartnership.com

This drawing is copyright and may not be reproduced in whole or part without written authority. Do not scale off this drawing.





**TOTAL Site Boundary  
(Red Line)-**  
2.44 Acres/0.98 Hectares

**Note:**  
Assumed the boundary and site constraints  
subject to confirmation.  
All legal easements and extent of existing  
underground services locations are subject to  
confirmation.  
Levels shown are indicative and subject to  
confirmation from structural engineer

1	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
2	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
3	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
4	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
5	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
6	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
7	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
8	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
9	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
10	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18

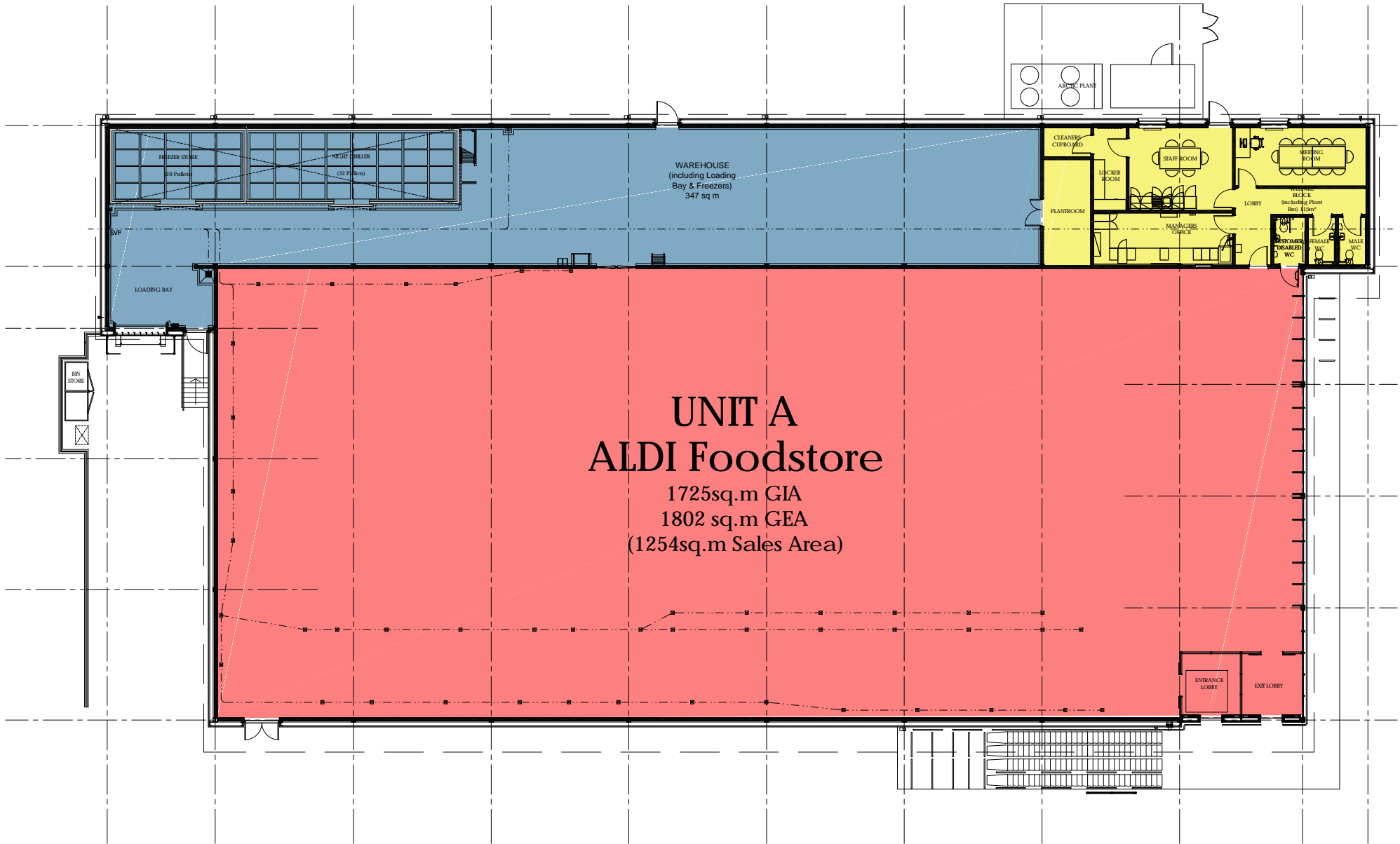
1	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
2	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
3	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
4	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
5	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
6	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
7	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
8	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
9	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
10	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18

1	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
2	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
3	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
4	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
5	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
6	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
7	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
8	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
9	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
10	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18

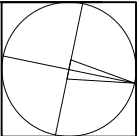
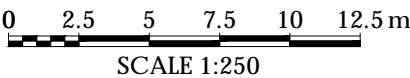
1	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
2	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
3	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
4	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
5	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
6	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
7	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
8	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
9	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
10	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18

1	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
2	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
3	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
4	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
5	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
6	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
7	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
8	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
9	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18
10	18/218	1:100000	PROPOSED SITE PLAN	04/1	01/18





PROPOSED GA PLAN  
SCALE 1:250 @ A3



CAD file reference J:/ALDI/MIDDLETON/1761MIDW/100 SERIES

This drawing is copyright and may not be reproduced in whole or part without written authority. Do not scale off this drawing.

-	dd-mm-yy	-----	---	---
Rev	Date	Description	Rev By	Chk'd By
Project Title	PROPOSED DEVELOPMENT			
	BURY NEW ROAD WHITEFIELD			
Client	ALDI STORES LTD			
Status	PLANNING			
Scale	1:250	Drawing Size	A3	
Date	27.06.18	Drawn By	RG	Checked LEEB
Drawing Title	PROPOSED GA PLAN			
Job-Dwg No	1761BOL-113		Rev	-

- ☒ 2 St. Johns North, Wakefield, WF1 3QA t. 01924 291800
- ☐ Carvers Warehouse, 77 Dale Street, Manchester, M1 2HG t. 0161 2388555
- ☐ The Old Rectory, 79 High Street, Newport Pagnell, MK16 8AB t. 01908 211577
- ☐ 101 London Road, Reading, RG1 5BY t. 0118 9507700
- ☐ 10 Gees Court, St Christophers Place, London, W1U 1JJ t. 0207 4091215

THE  
HARRIS  
PARTNERSHIP  
ARCHITECTS  
www.harrispartnership.com



PROPOSED ELEVATION B - FACING ONTO ADJACENT LAND



PROPOSED ELEVATION D - FACING ONTO CUSTOMER CAR PARK



- ① KINGSPAN KS1000MR METALLIC SILVER CLADDING RAL 9006
- ② KINGSPAN KS1000MR ANTHRACITE GREY CLADDING RAL 7016
- ③ SHOPFRONTS - POLYESTER POWDER COATED ALUMINIUM (RAL 7016).
- ④ BLOCKLEYS BRICK LTD. ('CHARCOAL' BRICKWORK WITH TARMAC Y14 (BLACK) COLOURED MORTAR
- ⑤ ENTRANCE - POLYESTER POWDER COATED ALUMINIUM (RAL 7016 ANTHRACITE).
- ⑥ STEEL ESCAPE DOORS - POLYESTER POWDER COATED COLOUR GREY (RAL 7016) (FRAME COLOUR RAL 7016).
- ⑦ WINDOWS - POLYESTER POWDER COATED ALUMINIUM (RAL 7016).
- ⑧ FASCIA'S - POWDER COATED ALUMINIUM TO BS6496 RAL 7016
- ⑨ BARNWATER GOODS POLYESTER POWDER COATED ALUMINIUM (RAL 7016).
- ⑩ KINGSPAN KS 1000 RW ROMM THICK TRAPEZOIDAL COMPOSITE ROOF PANELS ON PURLINS. ALL TO MATCH WITH DUALCOLE OF 0.25W/M<sup>2</sup>MK. COLOUR TO BE ANTHRACITE GREY RAL 7016.
- ⑪ SECTIONAL OVERHEAD DOOR - PVF COATED STEEL (RAL 7016).
- ⑫ TROLLEY BAY RAILS - FINISH - STAINLESS STEEL.
- ⑬ HANDRAILS - GALVANIZED TUBULAR STEEL
- ⑭ PVF2 COATED ALUMINIUM PRESSED DRIP FLASHING. COLOUR METALLIC SILVER RAL 9006.
- ⑮ ALL EXPOSED STEELWORK TO BE PAINTED STEELGUARD 244 FINISH COLOUR TO BE GLOSS FINISH RAL 7016 ANTHRACITE GREY.



- ☒ 251, Johns North, Watfield, WF1 3QA  
t. 01924 291660
- ☐ Carven Warehouse, 77 Dale Street, Manchester, M1 2HG  
t. 0161 2386555
- ☐ The Old Rectory, 79 High Street, Newport Pagnell, MK16 8AB  
t. 01908 211577
- ☐ 101 London Road, Reading, RG1 5BY  
t. 0118 9507700
- ☐ 10 Gees Court, 31 Christopher Place, London, W1U 1JJ  
t. 0207 4091215



PROPOSED ELEVATIONS  
SCALE 1:200 @ A2

0 2 4 6 8 10m  
SCALE 1:200

CAD file reference J:/ALDI/MIDDLETON/1761MIDW/100 SERIES

**Ward:** Whitefield + Unsworth - Unsworth

**Item 04**

**Applicant:** Commercial Development Projects Limited (CDP Ltd) and Cranswick Country Foods PL

**Location:** Land at Roach Bank Road, Bury, BL9 8RY

**Proposal:** Retention of external lighting scheme and baffling approved by 62835

**Application Ref:** 63686/Full

**Target Date:** 15/03/2019

**Recommendation:** Approve with Conditions

### **Description**

The application relates to a site which forms part of the Pilsworth Employment Generating Area and is allocated for Business, General Industrial and Warehousing Uses as defined in the Bury Unitary Development Plan under policies EC1/1 and EC2/1.

To the south is Roch Bank Road from which the site is accessed, with established industrial and business units directly opposite and to the east. To the north and west is land defined as a Wildlife Link and Corridor (Policy EN6/4) and River Valley (Policy OL5/2). The land to the west falls steeply away from the site to the River Roch and the housing development beyond on the Gigg Lane Estate, some 118m away.

### **Background**

Following the development of the site for an industrial unit, complaints were received by the Local Planning Authority from local residents that lighting had been erected on the site causing significant levels of light pollution across the valley to the residents on the Gigg Lane Estate. An Enforcement Investigation confirmed that lighting had been installed to the car park, rear service yard and access road along the western boundary leading to the servicing area, without the benefit of planning permission.

There are 67 lights on the site, comprising the following:

- 15. no 100w LED Columns mounted at 8m;
- 25 no 100w LED Floodlighting columns mounted at 8m;
- 18 no. 20w LED bollards;
- 9 No. 165w LED Columns mounted at 8m

To regularise the development, a planning application (reference 62835) was submitted for the retention of the lighting on the site. In the application, the Applicant sought to address the concerns of the residents by introducing mitigation measures to reduce light pollution and light spillage.

One such measure was the installation of baffling to some lighting columns on the site which were causing the most light spill. A baffle is a shield or screen which is fixed to the light fitting and controls the direction and angle of the light.

The baffles were installed on lights along the service yard access road which runs along the western boundary of the site. Within the service yard area at the rear, there are 5 sets of floodlights mounted on 8m high columns, 4 of which have been fitted with a baffle, the other light is screened by the building and not visible from the west. Within the car park to the front of the building, there are floodlights mounted on 8m high columns. These have not been baffled.

The Applicant also proposed that all external lighting would be switched off between the hours of 23.00 and 0.700 apart from the safety and security lighting which would be reduced in luminance between these hours.

The application was determined and approved at the Planning Control Committee meeting in July 2018 on the condition that the development be granted a temporary permission for 6 months to enable the lighting to be monitored in the darker winter months when the lights would be on for longer. There were also conditions that the baffling be retained in situ, and lights switched off between 23.00 and 0.700 apart from the security lighting.

Since the approval of the previous application and up until the submission of this application, there have been no complaints received by the LPA about the lighting, and this has also been confirmed by the Environmental Health Pollution Control Section.

The 6 months has now expired and the applicant is seeking the permanent retention of the lighting and which is the subject of this planning application.

### **Relevant Planning History**

62835 - External lighting scheme and baffling - Approve with Conditions 01/08/2018. Temporary consent for 6 months.

61598 - Variation of condition 2 (approved plans) of planning permission 60556 for an industrial unit for a food production facility. Amendments to the approved scheme comprise: revisions to site layout, floor layout and elevation plans; revised landscaping scheme and boundary treatment; increase in height of building from 15.7m to 16.4m; revised parking provision from 272 spaces to 260 spaces - Approved 23/8/2017.

60776 - Non-material amendment following grant of planning permission 60556 ( industrial unit for a food production facility with ancillary offices, associated parking, service yards and landscaping): Goods lift - lay by added along HGV access/egress; Plant room width increased from 24m to 54.5m on eastern elevation; External staircase at staff entrance on west elevation now included inside building - Approve 01/12/2016

60556 - Full planning application for an industrial unit for a food production facility with ancillary offices, associated parking, service yards and landscaping. - Approved 25/10/2016.

### **Publicity**

Letters sent to 107 properties on 24/1/2019 to addresses on Harrington Close, Grasmere Drive, Newby Close, Roach Bank Road, Pilsworth Road, Pilsworth Way, Redmere Drive, Park 66, Gigg Lane, Arncliffe Close, Tunstall Close.

Site notices posted 1/2/2019

10 letters of objection received from Nos 19 Harrington Close, 12, 19, 21 (x2) Grasmere Drive, Water Farm House, 84 Nelson Street, Waterfarm Fishery (x2), 5 Glastonbury Gardens

- I continue to object to the development, in particular the lighting, which seems to be permanently on, causing severe light pollution in the area. The bright lights illuminate our bedrooms, and are effecting sleeping patterns.
- None of the planting promised in the original planning seems to have been planted, so the building is an unsightly monstrosity.
- I don't hold much hope that any action will be taking, as this company seems to be able to do what ever they like, but I find it totally unacceptable.
- The lights have been up on a partial planning consent for six months. The owners/ councillors/ council promised that the impact of lights on the site would be minimal. The site is frequently left completely lit up 24/7 for absolutely no reason. This has a detrimental effect on the residential area directly below it. It also has had a negative impact on the local wildlife - birds are heard singing throughout the night even in January, as presumably with the sheer amount of light emitted by this structure they believe it is morning.
- If anyone who is involved in this planning process has any consideration at all for the



residents and wildlife who have to put up with this building, can you please insist that the proprietors have to switch off all unnecessary lighting in the office areas and other areas when it is not needed. If we are all to share a space, we can at least be considerate.

- Object to more lighting.
- If they have money to spend suggest fixing blinds to the many large windows and giving us some respite from the illuminated eyesore;
- The lighting is on 24/7 and I've had to purchase black out curtains for both my boys rooms;
- During the summer there is a constant humming noise making sleeping through the night quite impossible.
- The warehouse building really is encroaching on our personal home life and wellbeing, as it is a 'new' build I would like to know if there could possibly be a way to see our point of view in this situation.
- Notice the light pollution issue more during the winter months as during the evening if my curtains are not closed the light on the corner of the warehouse beams straight into the house through all the windows on the front making me feel quite uneasy.
- Our fishing ponds have gone from being a nice peaceful, relaxing fishing time to an annoying deafening hum.
- We were unaware that when planning was given for the build we would be disrupted by noise and light pollution.
- We were only ever aware that the plot was going to be for office blocks, not an extremely large food distribution centre.
- Used to farm at this fishery and stopped partly as the lights shine straight over which reflects off the water and it must be affecting the fish as catch reports have gone down. Other members have left as fishing is supposed to be relaxing and should not have lights in face and alarms going off. A shame for the owner.
- This is the second time of objecting. At the Council meeting last year it was promised a site visit would take place in January 2019 and this has not happened - still waiting for the Council to reply to this.
- Have asked the Council to sort out the noise from the fans but was told they cannot do anything as i do not live there.
- Bury Council blocking of my access to the fishery is putting me out of business and I cannot afford to keep feeding the 8000 fish every month and Bury Council don't seem to want to help.
- Why was the fishery not originally consulted and the lights could have been a planning condition.
- No longer go to the fisheries due to the spotlights shining all night and making it impossible to get rest or sleep;

Those who have made representations have been informed of the Planning Control Committee meeting.

#### **Statutory/Non-Statutory Consultations**

**Environmental Health - Pollution Control** - No objection

**Greater Manchester Ecology Unit** - No response received.

**Pre-start Conditions** - Not relevant

#### **Unitary Development Plan and Policies**

EC1	Employment Land Provision
EC1/1	Land for Business (B1) (B2) (B8)
EC2/2	Employment Land and Premises
EC5	Offices
EC5/2	Other Centres and Preferred Office Locations
EC6	New Business, Industrial and Commercial Development
EC6/1	New Business, Industrial and Commercial
EN1	Built Environment
EN1/2	Townscape and Built Design

EN1/5	Crime Prevention
EN5	Flood Protection and Defence
EN5/1	New Development and Flood Risk
EN6/4	Wildlife Links and Corridors
EN7	Pollution Control
OL5/2	Development in River Valleys
EN1/1	Visual Amenity
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework
HT2/10	Development Affecting Trunk Roads
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EC3/1	Measures to Improve Industrial Areas
HT6/2	Pedestrian/Vehicular Conflict
HT2	Highway Network
HT4	New Development

## Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Siting and location** - The lights are located in the car park, service yard and along the service yard access road. The lights are a modern and contemporary type and commonly found within industrial and commercial settings. The site is part of a wider industrial estate where there is a mix of lighting in the area and on and around buildings. The lighting which has been erected in the site is therefore considered not to be inappropriate within the setting of the development or the surrounding area.

The site section plan shows that the 8m high columns are located against the backdrop of the building which is 16.4m in height when viewed from the west. There is existing landscaping and new planting (granted under references 60556 and 61598) which comprises of heavy standard oak, birch and evergreen trees, which when fully grown will aid in partly screening the lights from view.

Lighting is a fundamental part of an industrial development providing a safe and secure site for employees and visitors as well as meeting the operational needs of a 24/7 business, and is similar to other units in the vicinity.

It is therefore considered that the lighting is of a high standard of design and specification, appropriate to the setting and functional to meet the occupier's requirements, and therefore in compliance with UDP Policy EC6/1 - Assessing New Business, Industrial and Commercial Development and EN1/2 - Townscape and Built Design.

## Impact on residential development

### External lighting scheme

The residential properties which are most affected by the development are those houses across the valley to the west on the Gigg Lane Estate and particularly properties on Grasmere Drive and the cul de sacs which extend off this road. The nearest houses are on Harrington Drive, 118m from the industrial site, although the site can be seen from a number of view points from the Estate.

The lighting which is most visible to these houses is located in the western part of the car

park at the front of the industrial unit, the area along the westerly boundary of the site and part of the service yard at the rear of the building.

When the lights were first installed, the residents on the estate complained it caused significant light pollution to their properties and submitted photographs as evidence. Made aware of the resident's concerns and as part of the original application submission, the Applicant looked into providing a number of mitigation measures to reduce the light spillage and light pollution from the site.

The mitigation measures comprised:

- baffles to lights in the service yard area
- external lighting (apart from security lighting) to be switched off between the hours of 23.00 and 07.00
- reduction of the luminance of the security lights during the hours of 23.00 and 07.00

Baffles are a shield or screen, fixed to the light fitting which direct light in a certain angle. The baffles direct the light downwards diffusing light spillage from these lights and thereby reducing the amount of brightness and luminosity reflected from the site. The baffles have been installed on the lighting which is located along the western boundary and on 4 of the 5 lights in the rear service yard area which are the most visible to the houses on the estate to the west. The lights which are along the eastern access road face the adjacent commercial unit and baffling was considered not to be necessary in this part of the site as it is obscured by the building from the residential properties.

The security lighting is located in the car park, along the eastern access road and to the rear service yard area. During the hours of 11pm to 7am, the luminance of the security lighting has been lowered to comply with the lower levels of lighting recommended during these hours in the ILP's (Institute of Lighting Professionals) Guidance Notes.

The Applicant has confirmed that all the other external lighting, apart from the safety and security lighting, will automatically be switched off between 23.00 and 07.00.

The properties on the estate are located at a significantly lower level than the site and do have view of some of the lights on the site which are on during the hours of darkness. However, there are a number of street lights which are located on the estate and outside some of the residents properties which in themselves create a certain amount of light pollution within this residential area and are more visible and intrusive to residents from inside their houses than the lights from the site itself.

Planning is about striking a balance and weighing up proposals for new development and any benefits it may bring, against any negative impacts a new development may generate. In this case, the development relates to an employment use within an established industrial and commercial setting which has brought jobs to the area and contributes to the local economy. It would not be uncommon for there to be some consequences arising from a development of this scale, particularly as a 24/7 operation.

The Applicant has sought to address as far as can be reasonably possible, the concerns and objections of the local residents, by introducing mitigation measures to limit impact of the lights from the site, which can be controlled by reasonable and enforceable conditions.

The Applicant has also confirmed that the planning conditions attached to the temporary consent are being adhered to and no complaints have been received by residents.

It is therefore considered that the lighting which is in situ does not cause a significantly adverse impacts on the amenity of the residents and its retention would not result in such unacceptable levels of harm which would warrant the refusal of the application. As such, the proposed development is considered to be acceptable and comply with UDP Policies EN1/2 - Townscape and Built Design, EN7 - Pollution and EC6/1 - Assessing New Business, Industrial and Commercial Development and the principles of the NPPF.

### Internal lighting

The internal lighting of the building does not in itself require planning permission. As a commercial business operating at 24/7, it would be expected that there would be a certain amount of lighting required for the business to be able to function during the night and when it is dark.

However, some of the objections relate to the lights which are on inside the building and which the objectors state are particularly bright when it is dark. It would not be reasonable or practical for planning to regulate or control internal lighting, as some days may be darker than others depending on weather conditions and time of the year. In any event, it would be almost impossible to monitor or enforce a condition which either limit or restrict the use of internal lighting.

The Applicant has taken on board the objector's concerns and in the spirit of neighbourliness, is agreeable to adjusting the light settings within the stairwell on the west elevation facing the estate to address resident's concerns, which would reduce the intensity of the luminance from the building.

**Ecology** - Whilst no response has been received from GMEU, there were no identified ecological issues raised on the previous application and GMEU had no comments to make. It is therefore reasonable to conclude likewise for the current application.

### **Response to objectors**

- The applicant has confirmed that the approved landscaping scheme has been implemented.
- The objections relating to the noise output from the plant equipment is not relevant to this application and subject to a separate legislation under the Environmental Protection Act.
- Restricted access to the fishery is not a relevant objection to the application.
- In terms of notification and publicity, site notices were placed on and near the site and at various locations on the Gigg Lane estate and therefore the statutory publicity requirements were lawfully complied with. There are no proposals to install any additional lighting to what is currently in situ.
- All other objections have been addressed in the above report.
- The site has been a long standing allocation for employment purposes since the adoption of the Bury UDP in 1997.
- Whilst the fishing club have enjoyed the benefit of no development of the land for a considerable period of time, in accordance with objectives of the development plan, both environmental and economic objectives must be considered.
- The delivery of this employment site is a key element of Pilsworth and employment opportunities as well as securing economic regeneration of this site. In consideration of environmental concerns and in particular, impacts upon night fishing, a balance must be struck to allow both users to operate. It is for this reason that the applicant installed baffles to reduce long range glare and in relation to the fishery users, the baffles remain effective and controlled through their hours of use.
- As such, it is recommended that a balance has been demonstrated, which would allow both parties to operate reasonably.

### **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.



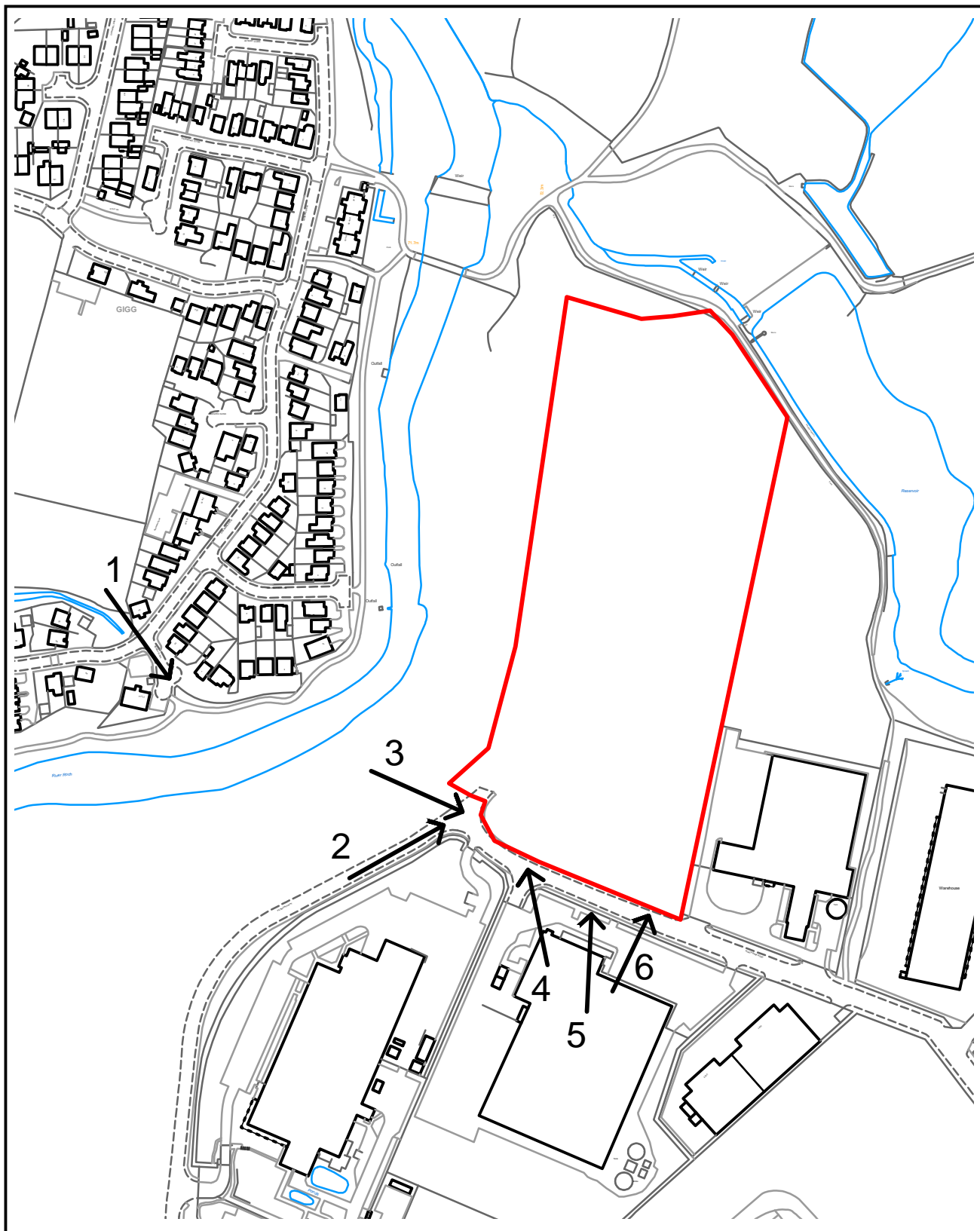
**Recommendation:** Approve with Conditions

**Conditions/ Reasons**

1. This decision relates to drawings - Location plan M2172-105 Rev E; External lighting E1702/410; External lighting E1702/401 Rev A; Site sections M2172-09 Rev A and the development shall not be carried out except in accordance with the drawings hereby approved.  
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
2. All external lighting (excluding the safety and security lighting) shall be switched off between the hours of 23.00 and 7.00 daily.  
Reason. In the interests and protection of residential amenity of nearby occupiers pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design, EN7 - Pollution Control and EC6/1 - New Business, Industrial and Commercial Development.
3. The security lighting indicated on approved plan E1702/410 shall comply with the lower levels of lighting recommended in Table 2 of the Institute of Lighting Professionals, 2011, between the hours of 23.00 and 07.00 hours.  
Reason. In the interests of residential amenity pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design, EN7 - Pollution and EC6/1 - New Business, Industrial and Commercial Development.
4. The baffles which have been installed on the lights indicated on approved plan E1702/401 Rev A shall thereafter be maintained in the approved positions.  
Reason. In the interests of residential amenity pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design, EN7 - Pollution and EC6/1 - New Business, Industrial and Commercial Development.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 63686**

**ADDRESS:** Land at Roach Bank Road  
Bury



**Bury**  
COUNCIL

**Planning, Environmental and Regulatory Services 1:1250**

**(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.**

63686

Photo 1



Photo 2



63686

Photo 3



Photo 4





63686

Photo 5

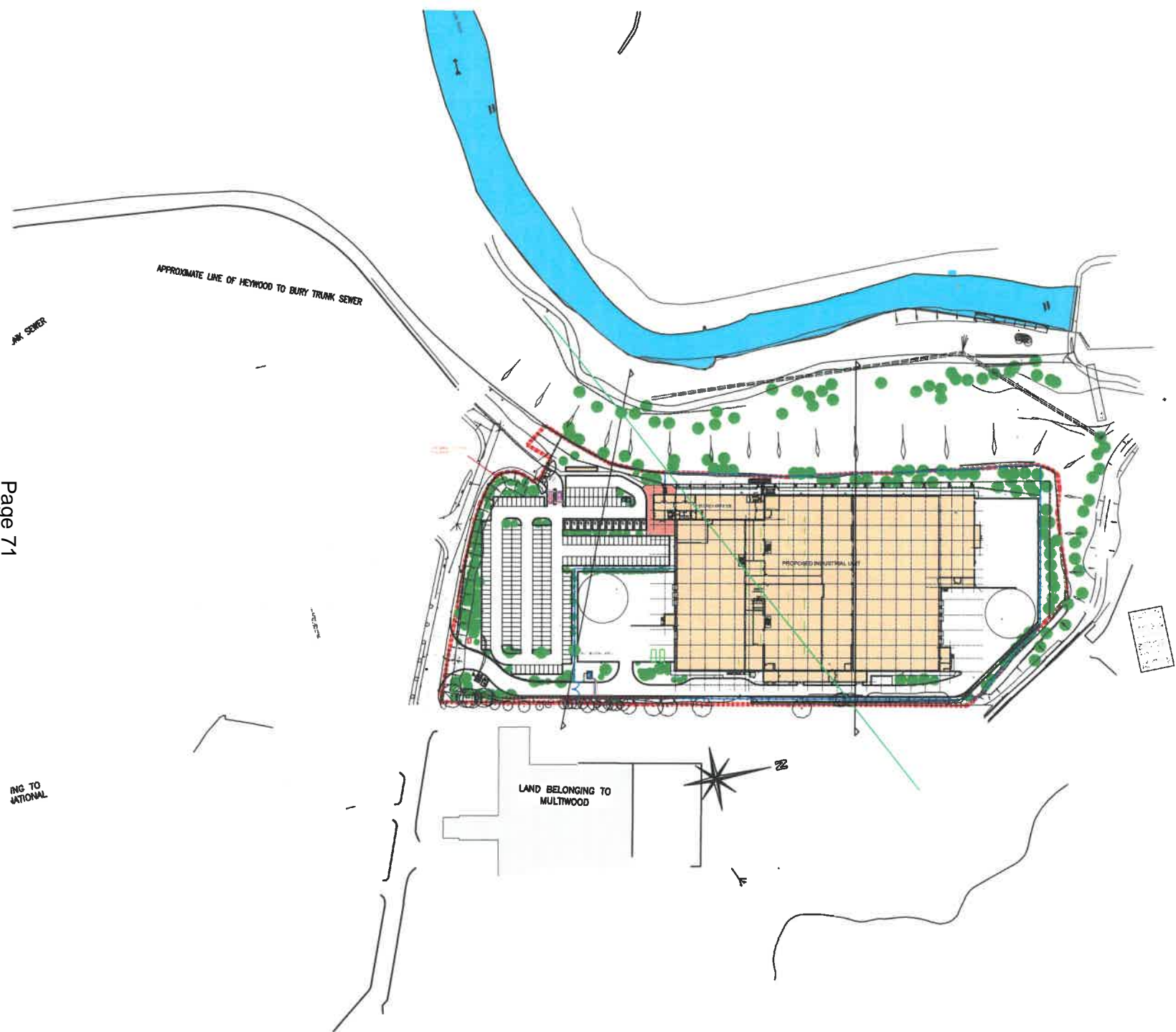


Photo 6



# Example of baffled light





COPYRIGHT RESERVED

NOTES

REVISIONS

Rev	Date	Description
A	SEPT 16	RED LINE AMENDED
B	SEPT 16	BUILDING HANDED
C	SEPT 16	RED LINE SOUNDLY AMENDED
D	NOV 16	ISSUED FOR CONSTRUCTION
E	JAN 17	REVISED AS-BUILT

BUILDING MANAGEMENT SERVICES LTD

WUDGEPHIELD ROAD  
ELLAND, WEST YORKSHIRE  
HX5 9BW  
TELEPHONE : ELLAND (01422) 371616  
FAX NO : (01422) 376717  
EMAIL : MAIL@BMSSELLAND.COM

**Building  
Management  
Services**

CLIENT

C. D. P. LIMITED

PROJECT

INDUSTRIAL DEVELOPMENT  
ROACH BANK ROAD  
PILSWORTH, BURY

SHEET

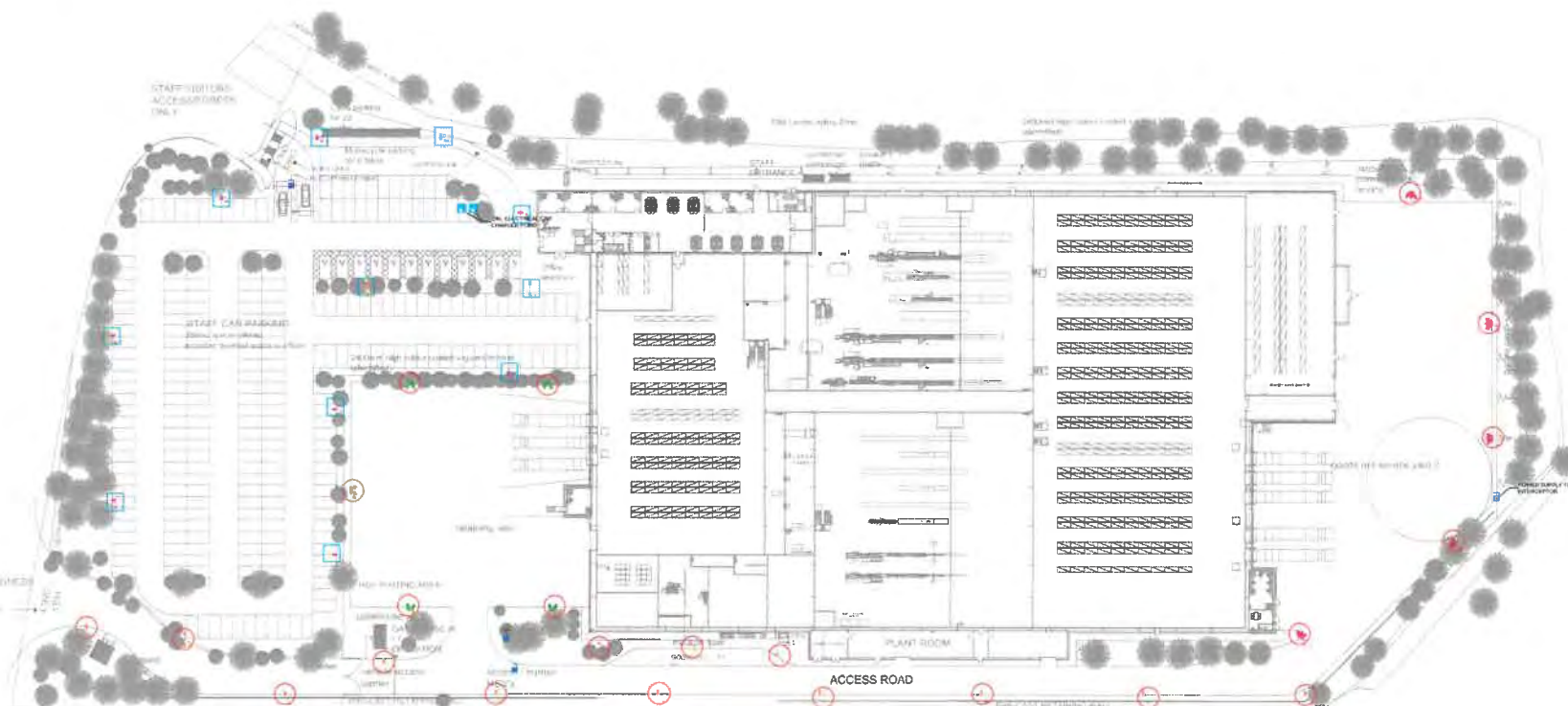
LOCATION PLAN

DESIGN	A J BAKER	DATE	SEPT 16
SCALE	1:1000		
STATUS	AS-BUILT		
EXAMINED BY		REVISION	
M2172-105		REV E	





Qty	Range	LED Output	MSD Lamp Output	Lamp Lens	Chord Width	LED <sup>1</sup>	LED <sup>2</sup>	Luminaire Efficacy	UGR	Spaced Lens	BA	ART View Size mm	LED Calculation for your LED Project	LED Project Efficacy
13	1000-1200	1000-1200 W	1000-1200 W	2700	300	90-120	1000-1200	1000-1200	0.05	6	02	12	1.99	1000-1200
24	1200-1400	1200-1400 W	1200-1400 W	2700	300	90-120	1200-1400	1200-1400	0.05	6	02	12	1.99	1200-1400
14	1400-1600	1400-1600 W	1400-1600 W	2700	300	90-120	1400-1600	1400-1600	0.05	6	02	12	1.99	1400-1600

[illegible]

Calculator Inventory	Case Type	Units	Acq	Issue	Inv	Shrink	Shrink%
Calcd	Handheld	1	100.00	48	0	0.00	0.00
Account stand	Handheld	1	750.00	52	0	0.00	0.00
Loan Pad	Handheld	1	100.00	52	0	0.00	0.00
Goodies in Banked Yard	Handheld	1	100.00	107	0	0.00	0.00
Goodies in the Back Yard	Handheld	1	100.00	107	0	0.00	0.00
Inv	Handheld	1	5.00	163	0	0.00	0.00
Perpetual Inventory	Handheld	1	500.00	170	0	0.00	0.00

[illegible]

THE EXTERNAL LIGHTING STRATEGY WILL BE DESIGNED IN COMPLIANCE WITH TABLE 2 (AND ITS ACCOMPANYING NOTES) OF THE ILP GUIDANCE NOTES FOR THE REDUCTION OF OBTRUSIVE LIGHT, 2011.

ALL EXTERNAL LIGHTING **[EXCEPT FOR SAFETY AND SECURITY LIGHTING]** CAN BE AUTOMATICALLY SWITCHED OFF BETWEEN 23:00 AND 07:00. IF SAFETY OR SECURITY LIGHTING IS PROVIDED AND WILL BE USED BETWEEN 23:00 AND 07:00, THIS PART OF THE LIGHTING SYSTEM WILL COMPLY WITH THE LOWER LEVELS OF LIGHTING RECOMMENDED DURING THESE HOURS IN TABLE 2 OF THE ILPS GUIDANCE NOTES.

ALL LIGHT ADJUSTMENTS, WHERE SPECIFIED, WILL BE DESIGNED IN COMPLIANCE WITH ILP PLG 6: THE BRIGHTNESS OF ILLUMINATED ADVERTISEMENTS.

DO NOT SCALE FROM THIS DRAWING.  
ALL DIMENSIONS TO BE CHECKED ON SITE.

COPYRIGHT IN THIS DRAWING IS THE PROPERTY OF WATSONS BUILDING SERVICES LTD. IT MUST NOT BE REPRODUCED NOR AMENDED NOR USED FOR THE EXECUTION OF ANY WORKS WHETHER IN CONNECTION WITH THE PROPOSED WORKS FOR WHICH IT IS PREPARED OR OTHERWISE WITHOUT THE EXPRESS CONSENT OF WATSONS BUILDING SERVICES LTD.

NOTES:-



DENOTES SAFETY LIGHTING



**DENOTES SECURITY LIGHTING**

REV	DESCRIPTION	DATE	BY
STATUS:-			

STATUS:-	AS FITTED
----------	-----------



**Watsons**  
BUILDING SERVICES LTD

HEATING VENTILATION AIR CONDITIONING ELECTRICAL  
ENERGY CONSERVATION DESIGN & INSTALLATION CONTRACTORS  
Watson House, Powden Road, Sladden, Kington, W. Yorks BD20 0HD  
Tel: 01535 652338 Fax: 01535 658851  
E-mail: [mail@watsonsbss.com](mailto:mail@watsonsbss.com) Web: [www.watsonsbss.com](http://www.watsonsbss.com)

**TITLE:**

**INDUSTRIAL DEVELOPMENT**  
**ROACH BANK ROAD**  
**PILSWORTH**  
**BURY**

## EXTERNAL LIGHTING

DRAWN:- <b>DS</b>	APPROVED:-	DATE:- <b>FEB 17</b>
CAD ENG:- <b>VLC</b>	CHECKED:-	SCALE (A1):- <b>1:500</b>
DRAWING No:- <b>E1702/410</b>		REV:-



THE EXTERNAL LIGHTING STRATEGY WILL BE DESIGNED IN COMPLIANCE WITH TABLE 2 (AND ITS ACCOMPANYING NOTES) OF THE ILP GUIDANCE NOTES FOR THE REDUCTION OF OBSTRUCTIVE LIGHT, 2011.

ALL EXTERNAL LIGHTING (EXCEPT FOR SAFETY AND SECURITY LIGHTING) CAN BE AUTOMATICALLY SWITCHED OFF BETWEEN 2300 AND 07:00. IF SAFETY OR SECURITY LIGHTING IS PROVIDED AND WILL BE USED BETWEEN 2300 AND 07:00, THIS PART OF THE LIGHTING SYSTEM WILL COMPLY WITH THE LOWER LEVELS OF LIGHTING RECOMMENDED DURING THESE HOURS IN TABLE 2 OF THE ILP3 GUIDANCE NOTES.

ALL LIGHTING INSTALLATIONS, WHERE SPECIFIED, WILL BE DESIGNED IN COMPLIANCE WITH ILP PLG 05 THE BRIGHTNESS OF ILLUMINATED ADVERTISEMENTS.

[illegible]

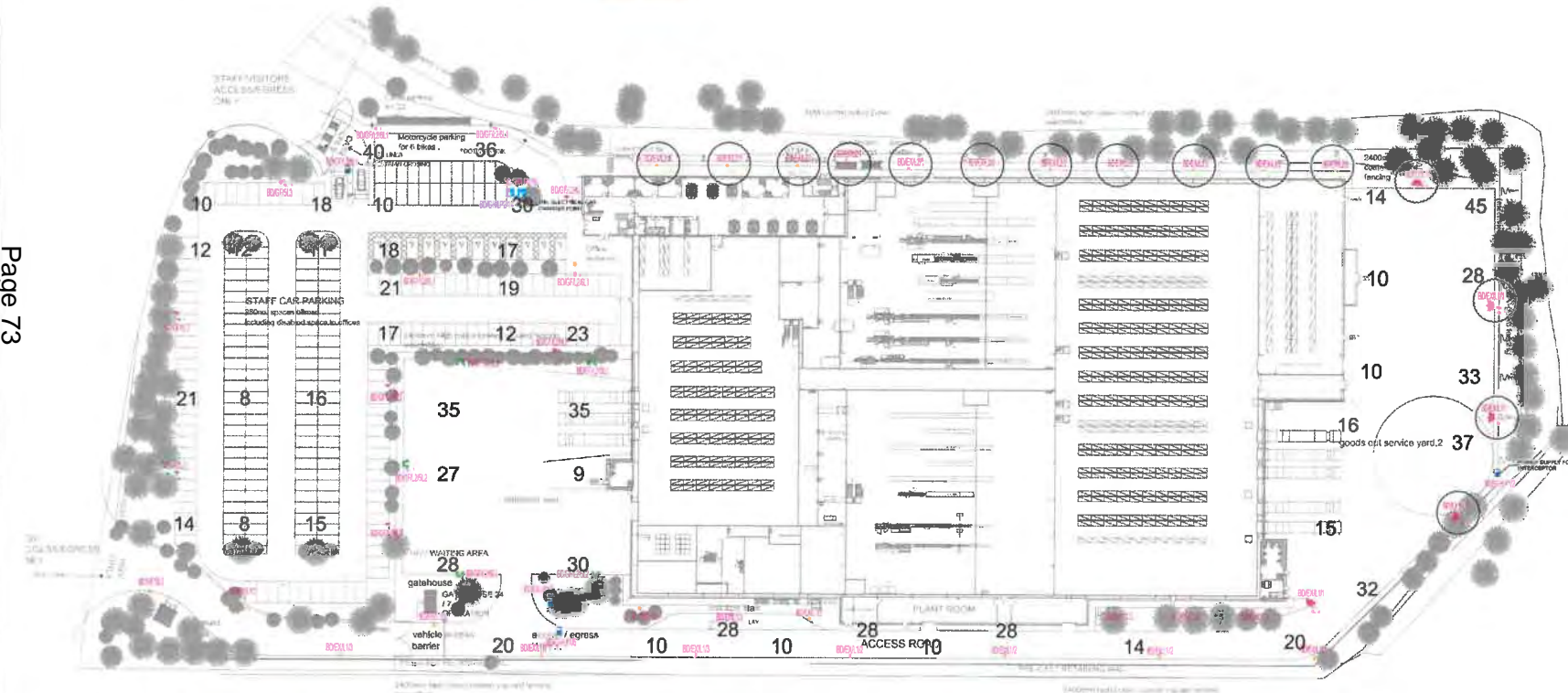
(Total) symptoms		
Re-symptomized group		0































Site No.	Depth	Interval	Time
1	100	100	100

[illegible]

Question	Answer	Points
Q1. What is the main purpose of the study?	To investigate the effect of the independent variable on the dependent variable.	100%
Q2. What is the independent variable?	The variable that is manipulated or changed by the researcher.	100%
Q3. What is the dependent variable?	The variable that is measured or observed by the researcher.	100%

<sup>10</sup> 'Services like change numbers for Q&A, sponsored advertisements, images are not subject to public as: website will inform users for about that change will automatically get deleted. The only way to get rid of it is by not to add. From now on you will appreciate this initiative for the benefits which comes to users. Services information communication about content.' (2014)

[illegible]

Landscape Details					
Symbol	Color	Label	Arrangement	MF	Description
	9	A1	MS2-E	4300	100W LED 1-Wire City column mounted at 8m
	9	A1	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	A2	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m
	9	B2a	MS2-B-200	4300	2x 100W LED 1-Wire City column mounted at 8m

DENOTES LIGHTS TO BE BAFFLE

DO NOT SCALE FROM THIS CHARTING.

ALL DIMENSIONS TO BE CHECKED ON SITE.

COPYRIGHT IN THIS DRAWING IS THE PROPERTY OF WATSONS BUILDING SERVICES LTD. IT MUST NOT BE REPRODUCED NOR AMENDED NOR USED FOR THE EXECUTION OF ANY WORKS WHETHER IN CONNECTION WITH THE PROPOSED WORKS FOR WHICH IT IS PREPARED OR OTHERWISE WITHOUT THE EXPRESS CONSENT OF WATSONS BUILDING SERVICES LTD.

NOTES:-

<b>A</b>	<u>PERIMETER LIGHTS AMENDED</u>	03/04/18	VL
<b>REV</b>	<b>DESCRIPTION</b>	<b>DATE</b>	<b>BY</b>

STATUS:

AS FITTED



**Watsons**  
BUILDING SERVICES LTD

HEATING VENTILATION AIR CONDITIONING ELECTRICAL  
ENERGY CONSERVATION DESIGN & INSTALLATION CONTRACTORS  
Watson House, Howden Road, Salsden, Knightley, W. Yorks BD20 0HD  
Tel: 01535 652338 Fax: 01535 656851  
E-mail: [mail@watsonsesbs.com](mailto:mail@watsonsesbs.com) Web: [www.watsonsesbs.com](http://www.watsonsesbs.com)

TITLE:•

INDUSTRIAL DEVELOPMENT  
ROACH BANK ROAD  
PILSWORTH  
BURY

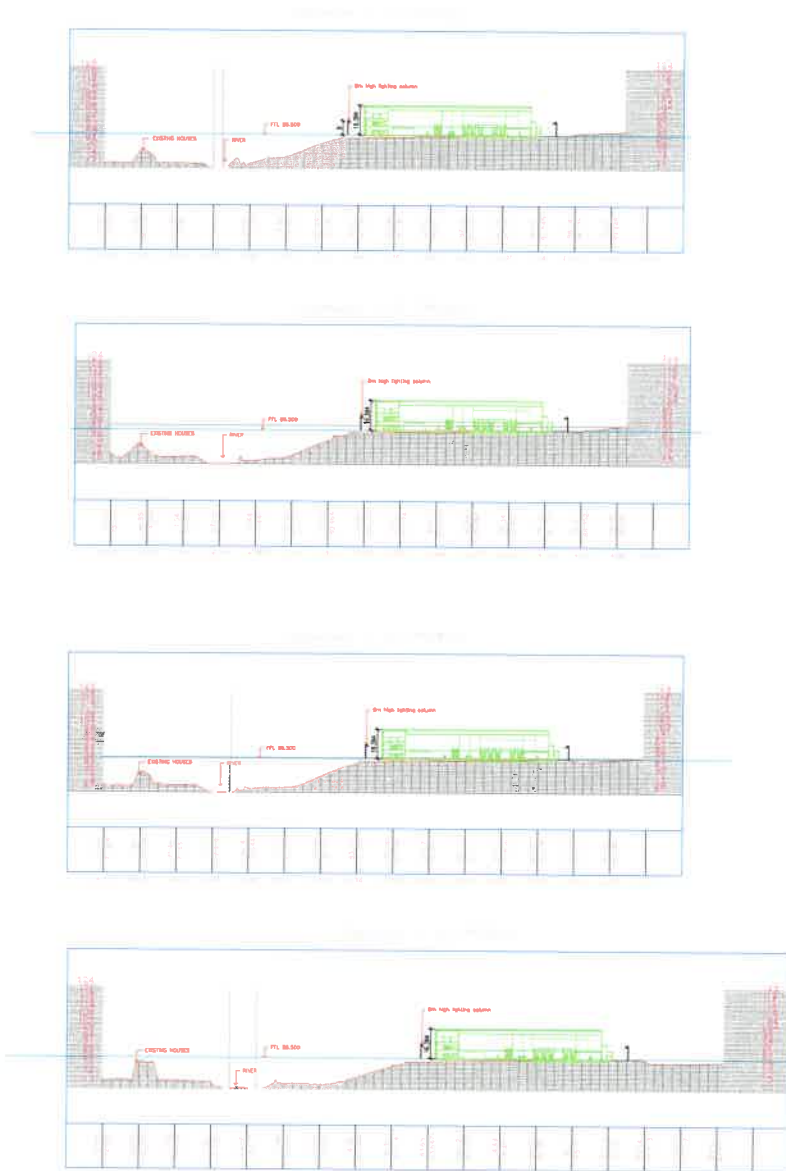
## EXTERNAL LIGHTING

DRAWN:- <b>DS</b>	APPROVED:-	DATE:- <b>FEB 17</b>
CAD ENG:- <b>VLC</b>	CHECKED:-	SCALE (A1):- <b>1:500</b>
DRAWING No:- <b>E1702/401</b>		REV:- <b>A</b>





**SITE LOCATION PLAN**  
**SCALE 1:1250**



**SITE SECTIONS**  
**SCALE 1:1000**

Building Management Services Ltd Huddersfield Road Stand, West Yorkshire HD5 8HT TELEPHONE : 01484 371816 FAX No : 01484 371817 email : info@bmsltd.com	
<b>Building Management Services</b>	
C D P LIMITED	
Project: PROPOSED CONSTRUCTION OF FIVE NEW INDUSTRIAL UNITS	
Sheet: SITE SECTIONS	
Drawn: A J BAKER	Date: JUN 10
Scale: 1:1000, 1:1250	
Drawing No: M2172-09	Revision: REV A

**BURY COUNCIL**  
**DEPARTMENT FOR RESOURCES AND REGULATION**  
**PLANNING SERVICES**

**PLANNING CONTROL COMMITTEE**

**26 March 2019**

**SUPPLEMENTARY INFORMATION**

**Item:01 Land to South of Morris Street and land within Close Park, Radcliffe**  
**Application No. 63559**

A series of sheet piled walls and embankments, on land within Close Park and land to the south of Morris Street, which form part of a wider scheme to improve flood protection along the River Irwell.

**Consultations**

**Traffic Section** - No objections, subject to the inclusion of a condition relating to a construction traffic management plan.

**Sport England** - No objections, subject to the inclusion of conditions relating to a scheme to deal with safeguarding issues, replacement playing fields, the location of storage facilities and the provision of sport facilities during the construction works and an informative relating to the scheme to resolve the safeguarding issues.

**Issues and Analysis**

**Recreation** - The proposed bund at Close Park would wrap around the existing pavilion, which contains changing facilities and toilet for the football club. The Football Association, Sport England and the club had raised concerns that the proposed bund would significantly reduce the natural supervision of children accessing the toilets during a match. As such, the applicant is going to make a contribution to the club to enable them to provide toilets at first floor level, which would be visible and would resolve this issue. There would be a legal agreement to secure this, but it would take place outside of the planning process. Condition 13 would secure the provision of these facilities. Therefore, the proposed development would be in accordance with Policy RT1/1 of the Bury Unitary Development Plan and the NPPF.

**Conditions**

Conditions 14 - 16 relate to the conditions recommended by Sport England and condition 13 should be amended. Condition 17 should be added in relation to the construction traffic management plan.

13. Within 6 weeks of the date of decision, a scheme for the provision of facilities to deal with the safeguarding issue shall be submitted to and approved in writing by the Local Planning Authority after consultation with Sport England.

The approved details shall be implemented in accordance with a timetable to be agreed in writing with the Local Planning Authority.

Reason. To ensure that the sports facilities are fit for purpose and to accord with Policy RT1/1 - Protection of Recreation Provision in the Urban Area of the Bury Unitary Development Plan and paragraph 97 of the NPPF.

17. No development shall commence unless and until a 'Construction Traffic Management Plan' (CTMP), has been submitted to and approved by the Local Planning Authority and shall confirm/provide the following:

- Dilapidation survey, to a scope to be agreed, of the footways and carriageways abutting both sites in the event that subsequent remedial works are required following construction of the development;
- Access points for all construction traffic from the adopted highway to both sites;
- In connection with the above, assessment and swept path analysis of the existing junction of the Close Park car park access with Bury Street and route through the car park in terms of their ability to accommodate the size of construction vehicles anticipated to be generated by the proposed development as well as maintain

pedestrian and vehicular access for the general public, including all permanent/temporary measures, highway works and bridge works on and off the adopted highway to establish the security post and formalisation of the area of 'Car Park to be Used for Receiving and Managing Vehicle Movements' and ensure the safe operation of the junction and access route during construction;

- Retention/re-provision of any parking facilities for users of Close Park affected by the above in order to mitigate overspill parking on the adjacent adopted highway;
- All necessary highway remedial works required as a result of the above following completion of the development;
- Hours of operation and number of vehicle movements;
- A scheme of appropriate warning/construction traffic speed signage in the vicinity of both sites and their accesses;
- Arrangements for the turning and manoeuvring of vehicles within the curtilage of both sites/at the cul-de-sac end of Morris Street, including any requisite phasing of the development to accommodate this;
- Parking on site of or on land within the applicant's control of operatives' and construction vehicles together with storage on site of construction materials, including any requisite phasing of the development to accommodate this;
- Proposed site hoarding/gate positions, including the provision, where necessary of temporary pedestrian facilities/protection measures on the adopted highway and along the routes through the sites available to members of the public;
- Measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations.

The approved plan shall be adhered to throughout the demolition/construction period and the measures shall be retained and facilities used for the intended purpose for the duration of the demolition and construction periods. The areas identified shall not be used for any other purposes other than the turning/parking of vehicles and storage of demolition/construction materials.

**Reason.** Information not submitted at application stage. To mitigate the impact of the construction traffic generated by the proposed development on the adjacent residential streets, and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period and that the adopted highways are kept free of deposited material from the ground works operations, in the interests of highway safety pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design and HT6/2 - Pedestrian/Vehicular Conflict.

**Item:02 McDonald's Restaurant, 103 Bury New Road, Whitefield, Manchester, M45 7EG Application No. 63597**

Alterations to elevations to include the construction of extensions totalling 52.9m<sup>2</sup> and new cladding to roof and an additional drive thru booth. New shop front glazing, relocated entrance and new boundary fencing. The reconfiguration of the drive thru lane to provide side by side ordering and associated works to the site with new and relocated signage including fascia signage.

**Consultations**

**Traffic Section** - No objections, subject to the inclusion of conditions relating to details of a retaining wall and car parking.

**Conditions**

Therefore, conditions 5 should be amended and condition 7 should be added in

relation to details of a retaining wall and car parking.

5. The amended car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the development hereby approved being brought into use and thereafter maintained at all times.

Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.

7. Notwithstanding the details indicated on the approved plans, no development shall commence unless and until full details of the replacement retaining wall adjacent to, and pedestrian access alterations at the interface with, Higher Lane, have been submitted to and approved in writing by the Local Planning Authority. The details subsequently approved along with all associated highway remedial works shall be implemented prior to the development hereby approved being brought into use.

Reason. To ensure good highway design and maintain the integrity of the adopted highway, in the interests of highway safety pursuant to Policy EN1/2 - Townscape and Built Design of the Bury Unitary Development Plan.

**Item:03    Aldi Foodstore Ltd, Higher Lane, Whitefield, Manchester, M45 7EA**  
**Application No. 63636**

Demolition of food store and retail terrace. Erection of replacement Class A1 foodstore with associated access, car parking, servicing and hard and soft landscaping

**Consultations**

**Traffic Section** - No objections, subject to the inclusion of conditions relating to highway alterations, construction traffic management plan, turning facilities and car parking.

A revised site plan is attached.

**Conditions**

Therefore, conditions 12 - 15 should be added in relation to highway alterations, construction traffic management plan, turning facilities and car parking.

12. Notwithstanding the details indicated on approved plan references 1761BOL-112 Revision F and 1761BOL-115 Revision D, no development shall commence unless and until full details of the following have been submitted, on a topographical survey of the site and adjacent adopted highways (where appropriate), to and agreed with, the Local Planning Authority:

- Dilapidation survey, to a scope to be agreed, of the footways and carriageways abutting the site in the event that subsequent remedial works are required following demolition/construction of the development;
- Alterations to the existing Fountain Place/Higher Lane junction to a specification to be agreed, incorporating the removal of the existing and provision of the replacement pedestrian refuge, provision of dropped crossing facilities for pedestrians on Fountain Place, appropriate tactile paving and extension of the limits of the adopted highway to form the replacement footway from Higher Lane, including all necessary modifications to, and improvement of, any affected street lighting, road markings and highway drainage;
- Reinstatement of all footways abutting the site affected by the construction of the proposed development and modified pedestrian access arrangements, removal of



- any boundary walls/features and as a result of statutory undertakers works to serve the proposed development, to a scope and specification to be agreed and incorporating the demarcation of the limits of the adopted highway;
- Relocation of the bench affected by the construction of the proposed development in a position clear of, or in an extension to, the existing adopted highway, clear of any required visibility splays;
  - Location and details of all replacement boundary treatment abutting Higher Lane, Fountain Place and Frankton Road, with foundations that do not encroach under the adjacent adopted highway;
  - Formation of the proposed site access onto Fountain Place to a specification to be agreed, incorporating visibility splays in accordance with the standards in Manual for Streets, level details at the interface with the adopted highway in view of existing level differences along with appropriate mitigation measures, the provision of the proposed central pedestrian refuge with dropped crossing facilities and appropriate tactile paving within an extension of the limits of the adopted highway and replacement footway facilities on Fountain Place a minimum of 2.0m in width, including all necessary modifications to, and improvement of, any affected street lighting, road markings and highway drainage;
  - Reinstatement of the redundant service yard access onto Frankton Road, incorporating the provision/extension of the footway a minimum of 2.0m in width, to a scope and specification to be agreed, incorporating the demarcation of the limits of the adopted highway;
  - Provision of a street lighting assessment of the modified junction arrangements at Fountain Place/Higher Lane and Fountain Place/site access, and subsequent scheme of improvements to existing street lighting on the adopted highway incorporating the removal of the inward facing flood lights sited on Higher Lane;
  - Decommissioning of all existing street lighting, services, street furniture and signage with the Fountain Place Public Car Park;
  - Submission of staged road safety audits in accordance with requirements in the document entitled 'GG 119 - Road safety audit'.

The details subsequently approved shall be implemented to a programme, which shall be agreed with the Local Planning Authority.

Reason. To ensure good highway design, maintain the integrity of the adopted highway and ensure the intervisibility of the users of the site and the adjacent highways in the interests of highway safety pursuant to Policy EN1/2 - Townscape and Built Design of the Bury Unitary Development Plan.

13. No development shall commence unless and until a 'Construction Traffic Management Plan' (CTMP), has been submitted to and approved by the Local Planning Authority and shall confirm/provide the following:

- Access point for demolition/construction traffic from the adopted highway and through the site, including measures to maintain vehicular access to the McDonald's Restaurant for customers and delivery vehicles;
- Hours of operation and number of vehicle movements;
- A scheme of appropriate warning/construction traffic speed signage in the vicinity of the site and its access;
- Arrangements for the turning and manoeuvring of vehicles within the curtilage of the site, including any requisite phasing of the development to accommodate this;
- Parking on site of operatives' and demolition/construction vehicles together with storage on site of demolition/construction materials, including any requisite phasing of the development to accommodate this;

- Proposed site hoarding/gate positions, including the provision, where necessary of temporary pedestrian facilities/protection measures on the adopted highway and the route to the McDonald's Restaurant;
- Measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations

The approved plan shall be adhered to throughout the demolition/construction period and the measures shall be retained and facilities used for the intended purpose for the duration of the demolition and construction periods. The areas identified shall not be used for any other purposes other than the turning/parking of vehicles and storage of demolition/construction materials.

Reason. Information not submitted at application stage. To mitigate the impact of the construction traffic generated by the proposed development on the adjacent residential streets, and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period and that the adopted highways are kept free of deposited material from the ground works operations, in the interests of highway safety pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design and HT6/2 - Pedestrian/Vehicular Conflict.

14. The turning facilities indicated on approved plan reference 1761BOL-112 Revision F shall be provided before the development is brought into use and the areas used for the manoeuvring of vehicles shall subsequently be maintained free of obstruction at all times.

Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to Policy EN1/2 - Townscape and Built Design of the Bury Unitary Development Plan.

15. The car parking indicated on approved plan reference 1761BOL-112 Revision F shall be surfaced, demarcated and made available for use prior to the development hereby approved being brought into use occupied and thereafter maintained at all times

Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan and SPD11.

**Item:04 Land at Roach Bank Road, Bury, BL9 8RY Application No. 63686  
Retention of external lighting scheme and baffling approved by 62835**

**Publicity**

Comments received from No 18 Redmere Drive. It is noted this correspondence has quoted the previous application reference, 62835, however it is relevant to the current application.

- Some of the lights have been set to shine horizontally towards the flats on the other side of the river and also to light-up the facade of the building.
- all the lights are supposed to illuminate the floor area so that the workers can see what they are doing and unless people are going to climb the wall there is no reason for it to be illuminated.
- the lights should be set to shine downwards.
- photographs submitted.

Response to objection.

To ensure the lights are directed to minimise light pollution to residential properties, a condition would be added.

**Conditions.**

Condition added to read:

Condition 5 - Within 1 month of the date of the permission hereby approved, details of the direction of the lights shall be submitted to and approved by the Local Planning Authority. The approved position of the lights shall be implemented within 1 month of the approved scheme and thereafter maintained.

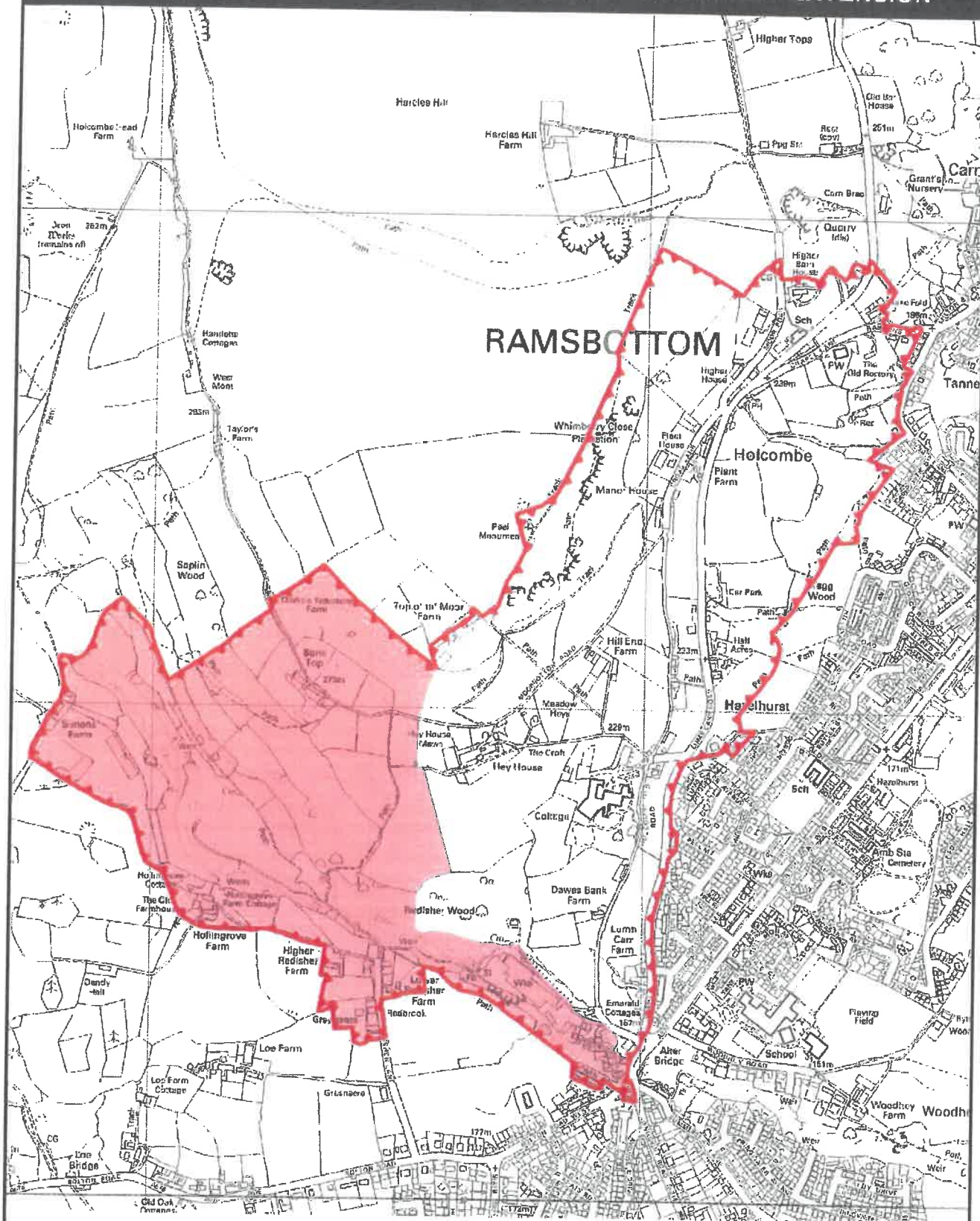
Reason. In the interests of residential amenity pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design, EN7 - Pollution and EC6/1 - New Business, Industrial and Commercial Development.

**TOTAL Site Boundary  
(Red Line)-  
2.44 Acres/0.98 Hectares**





# HOLCOMBE VILLAGE CONSERVATION AREA - BOUNDARY EXTENSION



**Bury**  
COUNCIL



EXTENSION TO CONSERVATION AREA - APPROVED BY  
PLANNING CONTROL COMMITTEE ON 20TH DECEMBER 2011

HOLCOMBE VILLAGE CONSERVATION AREA BOUNDARY



MAP SCALE  
1 to 10,000

© Crown copyright and database right 2012. Ordnance Survey 100023063.

## **AGENDA ITEM 7 – CONSERVATION AREA REVIEWS**

### **HOLCOMBE CONSERVATION AREA**

Attached are the representations received from the Holcombe Society. They have correctly identified that some points of the action plan have been carried out and completed. However, some have not. The impediment to this centres around funding, but importantly, the management plan proposals should remain as many of the points will be achievements to deliver.

Helpfully, the Society have also identified additional actions, which are welcomed and further clarification is needed on others, which are as follows.

1. Dry stone wall enclosing Lumb Carr Rd car park to be repaired.

Response: This would be a matter for the Highway Authority and need not be included in the management plan.

2. The unique high semi-circular dry stone wall supporting Higher Cottage yard to 'listed' as being of historic and architectural interest and possibly floodlit after dark.

Response: This would be for Heritage England to determine listing. From the Local Planning Authority's point of view, this can be included within the Council's draft Local List work.

3. The horse trough in the same wall (opposite the Shoulder car park) to be reinstated to full working order.

Response: Ownership would determine whether this would be achievable but in any event, this can be included within the Council's draft Local List work.

4. Plus Items Nos 1,3.4.6.8, 9 &10 outstanding from the above 2010 survey to be revisited.

Response:

1 – Conservation Boundary has been amended towards the west but following consideration, the inclusion of Harcles Hill Farm, the former sandstone quarry and Old Barr House but did not merit extending north east as this did not meet the criteria for Conservation Area designation. No Action Required.

3 – Resisting replacement doors where planning permission is needed – this need not change from the current management plan. No Action Required.

4 – Resist cladding with inappropriate materials – the cladding of any part of the exterior of a dwellinghouse in a Conservation Area with stone, artificial stone, pebble dash, render, timber, plastic or tiles requires planning permission and does not need to be included. No Action Required.

6 – The Council will resist proposed extensions that are too dominant, in a prominent location or are otherwise detrimental to the character or appearance

We (FB/JI) are anxious to highlight that there are many actions carried through from the original 2010 Appraisal which have not been processed and are now simply rolled on , sometimes with little hope expressed as to their final resolution. The key issues are traffic calming , visitor amenities and protection.of all tourists and residents generally.

2.

Recommendations in 2010 appraisal - John Ireland – 22/3/2019

**My ref. for transmission to Planning Committee**

Holcombe – draft Conservation Appraisal – 2-actions suggested

**My back ref.** Holcombe-570-220319-Conservation draft appraisal-4

**John Ireland back ref.**

Hol status of recommendations from 2010 appraisal-2 - enabled

Hol status of recommendations from 2010 appraisal-1 – John Ireland protected

Still outstanding in 2010

1. Poor and unsympathetic street lighting particularly in the nucleus of the village.
2. High Speed traffic
3. Limited parking facilities in the village
4. Interpretation boards on car park
5. Over grown pavements on Lumb Carr Rd.
6. Spread of Japanese knotweed & Himalayan Balsam
7. Adding list al of 25 properties, water troughs, stone cobbles etc on page 242/3/4 to be added to local list.
8. Remove unsightly telegraph poles.
9. Replace vandalised benches by Peel Tower with more substantial benches
10. Minimise street signage where possible.

Achievements since 2010

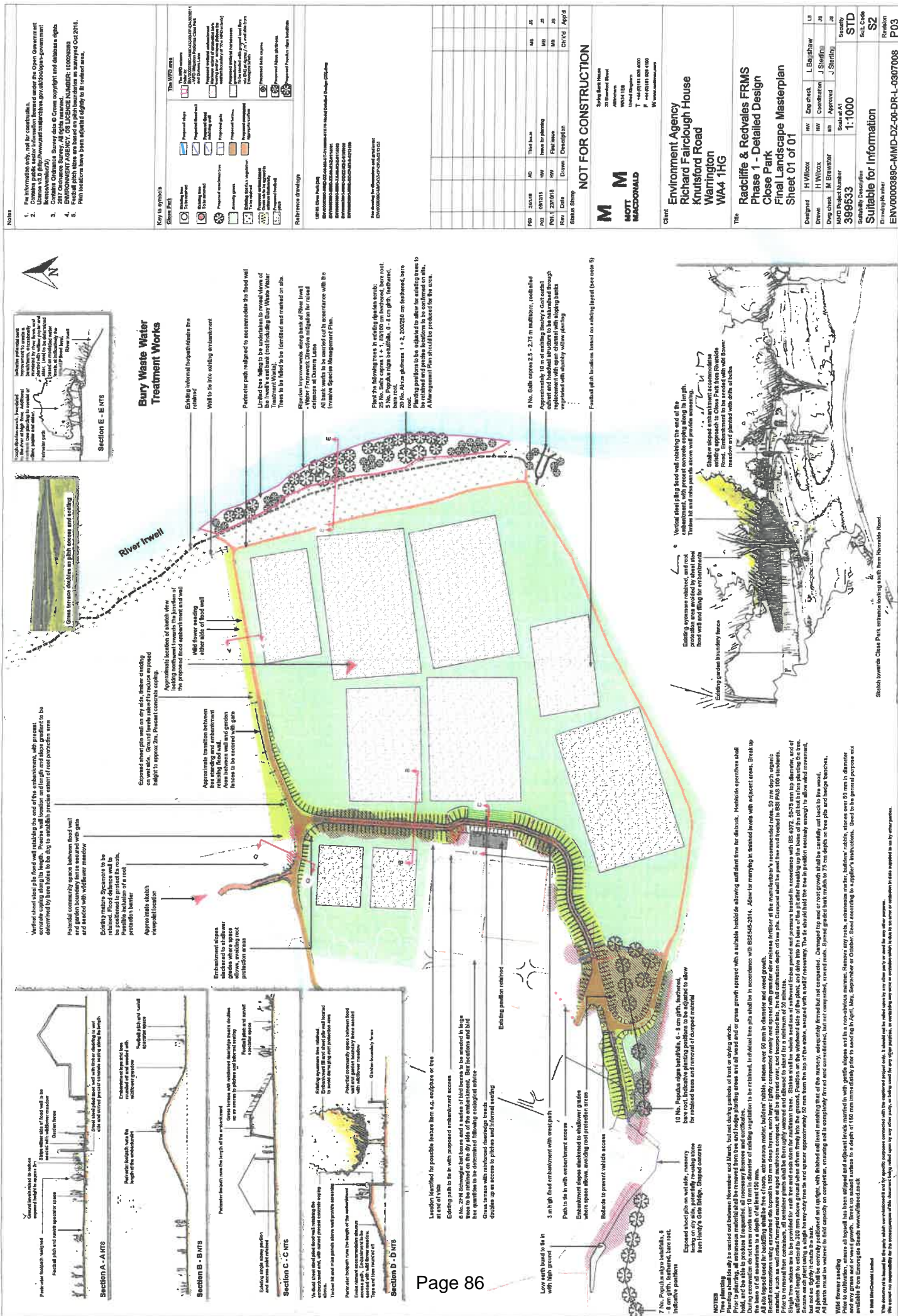
1. Extended Conservation Area
- 2 Instituted Article 4
2. Higher house rejuvenated

Additional / new activities required.

6. Dry stone wall enclosing Lumb Carr Rd car park to be repaired.
7. The unique high semi-circular dry stone wall supporting Higher Cottage yard to 'listed' as being of historic and architectural interest and possibly floodlit after dark
8. The horse trough in the same wall (opposite the Shoulder car park) to be reinstated to full working order.
9. Plus Items Nos 1,3.4.6.8, 9 &10 outstanding from the above 2010 survey to be revisited..
10. Bench installed opposite Rake Fold in the entrance to the 'Old Vicarage' residents consultation and agreement essential.



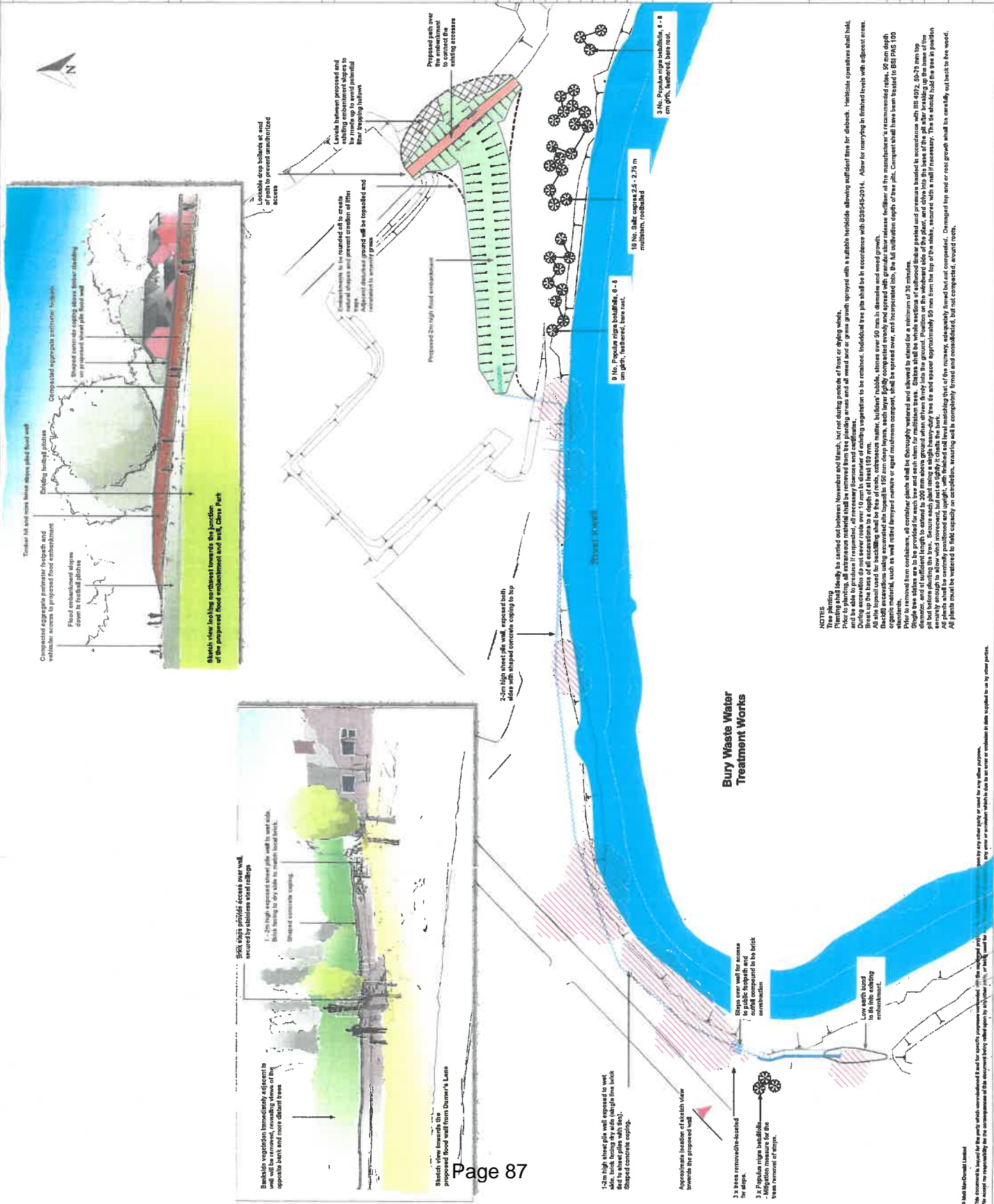
Item 01:63559



This drawing is issued for the purpose of providing information only. It is not to be used for any other purpose. The user of this drawing is responsible for its use and for any errors or omissions. The user is advised to check the drawing for any errors or omissions before using it. The user is also advised to check the drawing for any errors or omissions before using it.



Item 01: 63559

[illegible]

This page is intentionally left blank

# REPORT FOR NOTING

**Agenda  
Item**
**5**

<b>DECISION OF:</b>	<b>PLANNING CONTROL COMMITTEE</b>
<b>DATE:</b>	<b>26 March 2019</b>
<b>SUBJECT:</b>	<b>DELEGATED DECISIONS</b>
<b>REPORT FROM:</b>	<b>HEAD OF DEVELOPMENT MANAGEMENT</b>
<b>CONTACT OFFICER:</b>	<b>DAVID MARNO</b>
<b>TYPE OF DECISION:</b>	<b>COUNCIL</b>
<b>FREEDOM OF INFORMATION/STATUS:</b>	This paper is within the public domain
<b>SUMMARY:</b>	The report lists: Recent delegated planning decisions since the last PCC
<b>OPTIONS &amp; RECOMMENDED OPTION</b>	The Committee is recommended to the note the report and appendices
<b>IMPLICATIONS:</b>	
<b>Corporate Aims/Policy Framework:</b>	Do the proposals accord with the Policy Framework? Yes
<b>Statement by the S151 Officer: Financial Implications and Risk Considerations:</b>	Executive Director of Resources to advise regarding risk management
<b>Statement by Executive Director of Resources:</b>	N/A
<b>Equality/Diversity implications:</b>	No
<b>Considered by Monitoring Officer:</b>	N/A
<b>Wards Affected:</b>	All listed
<b>Scrutiny Interest:</b>	N/A

**TRACKING/PROCESS****DIRECTOR:**

Chief Executive/ Strategic Leadership Team	Executive Member/Chair	Ward Members	Partners
Scrutiny Committee	Committee	Council	

---

**1.0 BACKGROUND**

This is a monthly report to the Planning Control Committee of the delegated planning decisions made by the officers of the Council.

**2.0 CONCLUSION**

That the item be noted.

---

**List of Background Papers:-None****Contact Details:-**

David Marno, Head of Development Management  
Planning Services, Department for Resources and Regulation  
3 Knowsley Place  
Bury BL9 0EJ

**Tel: 0161 253 5291**

**Email: [d.marno@bury.gov.uk](mailto:d.marno@bury.gov.uk)**



**Planning applications decided using Delegated Powers**  
**Between 11/02/2019 and 17/03/2019**



Ward: **Bury East**

<b>Application No.:</b>	63291	<b>App. Type:</b>	FUL	28/02/2019	Approve with Conditions
<b>Location:</b>	York Street Mill, York Street, Bury, BL9 7AR				
<b>Proposal:</b>	Erection of 270 no. self-storage container units				
<b>Application No.:</b>	63558	<b>App. Type:</b>	FUL	11/03/2019	Approve with Conditions
<b>Location:</b>	12 Nuttall Street, Bury, BL9 7EW				
<b>Proposal:</b>	Erection of 1 no. two storey dwelling to replace existing bungalow; Widening of existing driveway				
<b>Application No.:</b>	63570	<b>App. Type:</b>	FUL	11/02/2019	Approve with Conditions
<b>Location:</b>	68 Hunstanton Drive, Bury, BL8 1XH				
<b>Proposal:</b>	Single storey rear extension with raised patio at rear				
<b>Application No.:</b>	63590	<b>App. Type:</b>	ADV	20/02/2019	Approve with Conditions
<b>Location:</b>	8 Bolton Street, Bury, BL9 0LQ				
<b>Proposal:</b>	1 No. externally illuminated fascia sign and 1 no. externally illuminated projecting sign				
<b>Application No.:</b>	63601	<b>App. Type:</b>	FUL	11/02/2019	Approve with Conditions
<b>Location:</b>	100 Heywood Street, Bury, BL9 7DY				
<b>Proposal:</b>	Single storey extension at rear; Dormer at rear				
<b>Application No.:</b>	63606	<b>App. Type:</b>	P3JPA	26/02/2019	Prior Approval Required and Granted
<b>Location:</b>	21 Silver Street, Bury, BL9 0EN				
<b>Proposal:</b>	Prior approval for proposed change of use from office use (Class B1(a)) to 19 no. residential units (Class C3)				
<b>Application No.:</b>	63643	<b>App. Type:</b>	LDGP	25/02/2019	Lawful Development
<b>Location:</b>	Unit F4, 10 Central Street, The Rock, Bury, BL9 0JN				
<b>Proposal:</b>	Lawful development certificate for the proposed use for any purpose within Use Class A2 of the Town and Country Planning (Use Classes) Order 1987 (as amended)				
<b>Application No.:</b>	63663	<b>App. Type:</b>	FUL	07/03/2019	Approve with Conditions
<b>Location:</b>	165 Broad Oak Lane, Bury, BL9 7SQ				
<b>Proposal:</b>	Two storey extension at side/rear				
<b>Application No.:</b>	63700	<b>App. Type:</b>	GPDE	18/02/2019	Prior Approval Not Required - Extension
<b>Location:</b>	22 Lea Mount Drive, Bury, BL9 7RR				
<b>Proposal:</b>	Prior notification for proposed single storey rear extension				

<b>Application No.:</b>	63734	<b>App. Type:</b>	FUL	07/03/2019	Approve with Conditions
<b>Location:</b>	173 Rochdale Road, Bury, BL9 7BB				
<b>Proposal:</b>	Alterations to front elevation and ground floor shop to form new entrance to self-contained flat at first floor				

Ward:
**Bury East - Moorside**

<b>Application No.:</b>	63551	<b>App. Type:</b>	FUL	07/03/2019	Approve with Conditions
<b>Location:</b>	1 Ferngrove House, Rochdale Old Road, Bury, BL9 7LS				
<b>Proposal:</b>	Roof extension and external alterations at rear				

<b>Application No.:</b>	63628	<b>App. Type:</b>	FUL	22/02/2019	Approve with Conditions
<b>Location:</b>	Fernhill Caravan Site, Every Street, Bury, BL9 5BE				
<b>Proposal:</b>	Installation of 2.3 metre high vehicular access gate/pedestrian access gate				

<b>Application No.:</b>	63662	<b>App. Type:</b>	FUL	15/02/2019	Approve with Conditions
<b>Location:</b>	9 Beech Grove Close, Bury, BL9 6ES				
<b>Proposal:</b>	First floor extension at side				

<b>Application No.:</b>	63783	<b>App. Type:</b>	LDCP	13/03/2019	Refused
<b>Location:</b>	65 Lowes Road, Bury, BL9 6PJ				
<b>Proposal:</b>	Lawful development certificate for proposed single storey rear extension				

<b>Application No.:</b>	63839	<b>App. Type:</b>	LDCP	13/03/2019	Lawful Development
<b>Location:</b>	142 Chesham Road, Bury, BL9 6EL				
<b>Proposal:</b>	Lawful development certificate for proposed ground floor single storey rear extension to existing two storey dwelling and internal alterations to form enlarged kitchen dining room				

Ward:
**Bury East - Redvales**

<b>Application No.:</b>	63584	<b>App. Type:</b>	FUL	13/03/2019	Approve with Conditions
<b>Location:</b>	Goshen Sports Centre, Goshen Lane, Bury, BL9 9RR				
<b>Proposal:</b>	Creation of Artificial Grass Pitch (AGP), installation of high level fenced enclosure with entrance gates to AGP perimeter, pitch perimeter barrier with entrance gates internally within the fenced enclosure and installation of new hard standing areas; New floodlight system and maintenance equipment store located within fenced enclosure				

<b>Application No.:</b>	63631	<b>App. Type:</b>	FUL	01/03/2019	Approve with Conditions
<b>Location:</b>	Derby Works, Manchester Road, Bury, BL9 9XX				
<b>Proposal:</b>	Erection of industrial building ancillary to existing operations				

<b>Application No.:</b>	63638	<b>App. Type:</b>	FUL	12/02/2019	Approve with Conditions
<b>Location:</b>	1 Arncliffe Close, Bury, BL9 9GF				
<b>Proposal:</b>	First floor extension at rear				

<b>Application No.:</b>	63664	<b>App. Type:</b>	FUL	21/02/2019	Approve with Conditions
<b>Location:</b>	141 Cornwall Drive, Bury, BL9 9EX				
<b>Proposal:</b>	Dormer at front				
<b>Application No.:</b>	63730	<b>App. Type:</b>	FUL	12/03/2019	Approve with Conditions
<b>Location:</b>	10 Lilac Avenue, Bury, BL9 9LP				
<b>Proposal:</b>	First floor extension at side and single storey extension at rear				
<b>Application No.:</b>	63852	<b>App. Type:</b>	GPDE	11/03/2019	Prior Approval Required Refused - Ext
<b>Location:</b>	6 Redmere Drive, Bury, BL9 9GB				
<b>Proposal:</b>	Prior notification for proposed single storey rear extension				

Ward: **Bury West - Church**

<b>Application No.:</b>	63362	<b>App. Type:</b>	FUL	11/02/2019	Approve with Conditions
<b>Location:</b>	Westbury Sports Club, Wellington Barracks, Bexley Drive, Bury, BL8 2XD				
<b>Proposal:</b>	Car park extension and new lighting scheme				
<b>Application No.:</b>	63591	<b>App. Type:</b>	FUL	15/03/2019	Approve with Conditions
<b>Location:</b>	Wellington House, Wellington Street, Bury, BL8 2BD				
<b>Proposal:</b>	Change of use from offices (Class B1) to private non-residential day school (Class D1)				
<b>Application No.:</b>	63616	<b>App. Type:</b>	FUL	04/03/2019	Approve with Conditions
<b>Location:</b>	1 Galgate Close, Bury, BL8 2TF				
<b>Proposal:</b>	Erection of boundary fence at front and side				
<b>Application No.:</b>	63624	<b>App. Type:</b>	OUT	14/02/2019	Approve with Conditions
<b>Location:</b>	The Nurseries, Leigh Lane, Bury, BL8 1RL				
<b>Proposal:</b>	Outline application for demolition of existing dwelling and outbuildings and construction of replacement dwelling (all matters reserved)				
<b>Application No.:</b>	63625	<b>App. Type:</b>	OUT	14/02/2019	Approve with Conditions
<b>Location:</b>	The Nurseries, Leigh Lane, Bury, BL8 1RL				
<b>Proposal:</b>	Outline application for demolition of existing bungalow and outbuildings and erection of new bungalow (all matters reserved)				
<b>Application No.:</b>	63651	<b>App. Type:</b>	FUL	01/03/2019	Approve with Conditions
<b>Location:</b>	Castle House, 7 Wellington Street, Bury, BL8 2AL				
<b>Proposal:</b>	Change of use from bed & breakfast (Class C1) to 8 no. bed house in multiple occupation (HMO) (Sui Generis)				
<b>Application No.:</b>	63669	<b>App. Type:</b>	FUL	04/03/2019	Approve with Conditions
<b>Location:</b>	2 Warlingham Close, Bury, BL8 2QN				
<b>Proposal:</b>	Two storey side extension and first floor rear extension (revised scheme)				

<b>Application No.:</b>	63670	<b>App. Type:</b>	FUL	21/02/2019	Approve with Conditions
<b>Location:</b>	44 Kenmor Avenue, Bury, BL8 2DY				
<b>Proposal:</b>	Dormer extension at front; Front porch				
<b>Application No.:</b>	63685	<b>App. Type:</b>	FUL	08/03/2019	Approve with Conditions
<b>Location:</b>	32 Buckingham Drive, Bury, BL8 2DH				
<b>Proposal:</b>	Single storey extension at rear; Alterations to fenestration at front; Modification to porch at front, render to front elevation and part side elevations				
<b>Application No.:</b>	63707	<b>App. Type:</b>	FUL	12/03/2019	Approve with Conditions
<b>Location:</b>	11 Chatton Close, Bury, BL8 2UE				
<b>Proposal:</b>	Single storey extension at front/side and single storey extension at rear; Alterations to windows/door to front elevation				
<b>Application No.:</b>	63841	<b>App. Type:</b>	LDCP	15/03/2019	Lawful Development
<b>Location:</b>	19 Scholes Street, Bury, BL8 2RB				
<b>Proposal:</b>	Lawful development certificate for proposed single storey rear extension plus canopy over existing front door				

Ward: **Bury West - Elton**

<b>Application No.:</b>	63698	<b>App. Type:</b>	FUL	04/03/2019	Approve with Conditions
<b>Location:</b>	20 March Drive, Bury, BL8 1XQ				
<b>Proposal:</b>	Single storey extension at side with access ramp				
<b>Application No.:</b>	63718	<b>App. Type:</b>	GPDE	27/02/2019	Prior Approval Not Required - Extension
<b>Location:</b>	10 Lichfield Drive, Bury, BL8 1BJ				
<b>Proposal:</b>	Prior notification for proposed single storey rear extension				
<b>Application No.:</b>	63732	<b>App. Type:</b>	FUL	07/03/2019	Approve with Conditions
<b>Location:</b>	47 Holbeach Close, Bury, BL8 1XA				
<b>Proposal:</b>	Two/single storey extension at rear				
<b>Application No.:</b>	63759	<b>App. Type:</b>	FUL	13/03/2019	Approve with Conditions
<b>Location:</b>	302 Brandlesholme Road, Bury, BL8 1ER				
<b>Proposal:</b>	Single storey extension at front and single storey extension at rear				

Ward: **North Manor**

<b>Application No.:</b>	63375	<b>App. Type:</b>	LBC	01/03/2019	Approve with Conditions
<b>Location:</b>	Mill House, Mount Pleasant, Nangreaves, Bury, BL9 6SP				
<b>Proposal:</b>	Listed building consent to replace 12 no. windows at front, rear and side & 3 no. doors, porch at side and internal alterations				



<b>Application No.:</b>	63592	<b>App. Type:</b>	FUL	04/03/2019	Approve with Conditions
<b>Location:</b>	9 Moorway, Tottington, Bury, BL8 4LF				
<b>Proposal:</b>	Raising of roof ridge height of existing bungalow to form two storey dwelling with front dormers; Two storey extension at side; Two storey extension and porch at front; Render to external elevations				
<b>Application No.:</b>	63632	<b>App. Type:</b>	FUL	25/02/2019	Approve with Conditions
<b>Location:</b>	7 & 9 Pot Green, Ramsbottom, Bury, BL0 9RG				
<b>Proposal:</b>	Alterations to convert 2 no. dwellings in to 1 no. dwelling to include erection of front porch (no. 9), replacement of existing doors at front and rear with windows, addition of rooflights at rear				
<b>Application No.:</b>	63634	<b>App. Type:</b>	FUL	25/02/2019	Approve with Conditions
<b>Location:</b>	510 Holcombe Road, Ramsbottom, Bury, BL8 4EJ				
<b>Proposal:</b>	Two storey extension at side, first floor extension at rear and single storey extension at side/rear; Bay window extension at front, new entrance door at front with cladding to existing porch and alterations to existing windows; Alterations to driveway at front				
<b>Application No.:</b>	63653	<b>App. Type:</b>	FUL	21/02/2019	Approve with Conditions
<b>Location:</b>	85 Fernview Drive, Tottington, Bury, BL0 9XG				
<b>Proposal:</b>	Conversion of garage into living accommodation with single storey front extension and new pitched roof at side				
<b>Application No.:</b>	63688	<b>App. Type:</b>	FUL	04/03/2019	Approve with Conditions
<b>Location:</b>	28 Vernon Road, Tottington, Bury, BL8 4DD				
<b>Proposal:</b>	Single storey extension at side				
<b>Application No.:</b>	63714	<b>App. Type:</b>	LDCP	12/03/2019	Lawful Development
<b>Location:</b>	25 Larkfield Close, Tottington, Bury, BL8 4QJ				
<b>Proposal:</b>	Lawful development certificate for proposed single storey rear extension				
<b>Application No.:</b>	63875	<b>App. Type:</b>	LDCP	13/03/2019	Lawful Development
<b>Location:</b>	14 Royston Close, Tottington, Bury, BL8 4BZ				
<b>Proposal:</b>	Lawful development certificate for proposed single storey rear extension				

**Ward: Prestwich - Holyrood**

<b>Application No.:</b>	63654	<b>App. Type:</b>	FUL	04/03/2019	Approve with Conditions
<b>Location:</b>	Vacant building to the rear of 454 Bury Old Road, Prestwich, Manchester, M25 1NL				
<b>Proposal:</b>	Change of use from shop (Class A1) to business office (Class B1(a)) and amendments to front elevation				
<b>Application No.:</b>	63657	<b>App. Type:</b>	LDCP	22/02/2019	Lawful Development
<b>Location:</b>	32 Simister Green, Prestwich, Manchester, M25 2RY				
<b>Proposal:</b>	Lawful development certificate for proposed loft conversion				

<b>Application No.:</b>	63658	<b>App. Type:</b>	FUL	11/02/2019	Approve with Conditions
<b>Location:</b>	315 Heywood Road, Prestwich, Manchester, M25 2RF				
<b>Proposal:</b>	Single storey extension at side				
<b>Application No.:</b>	63680	<b>App. Type:</b>	FUL	25/02/2019	Approve with Conditions
<b>Location:</b>	1 Roseland Drive, Prestwich, Manchester, M25 2GX				
<b>Proposal:</b>	Demolition of existing garage and conservatory and erection of single storey extensions to side and rear				
<b>Application No.:</b>	63696	<b>App. Type:</b>	FUL	21/02/2019	Approve with Conditions
<b>Location:</b>	42 Mount Road, Prestwich, Manchester, M25 2QQ				
<b>Proposal:</b>	Single storey extension at side				
<b>Application No.:</b>	63703	<b>App. Type:</b>	FUL	04/03/2019	Approve with Conditions
<b>Location:</b>	88 Heys Road, Prestwich, Manchester, M25 1LA				
<b>Proposal:</b>	Two/single storey rear extension with raised decking				
<b>Application No.:</b>	63709	<b>App. Type:</b>	FUL	04/03/2019	Approve with Conditions
<b>Location:</b>	11 Lynton Drive, Prestwich, Manchester, M25 2QS				
<b>Proposal:</b>	Single storey extension at rear				
<b>Ward:</b>	<b>Prestwich - Sedgley</b>				
<b>Application No.:</b>	63087	<b>App. Type:</b>	RES	28/02/2019	Approve with Conditions
<b>Location:</b>	Land at Mountheath Industrial Estate, George Street, Prestwich, Manchester, M25 9WB				
<b>Proposal:</b>	Reserved matters (Employment Phase) for access, appearance, landscaping and layout following grant of planning permission 59884 for mixed use development of up to 160 dwellings and 2959 square metres of employment floor space (use class B1/B8) as varied by application 62127				
<b>Application No.:</b>	63529	<b>App. Type:</b>	FUL	15/02/2019	Approve with Conditions
<b>Location:</b>	1 Buckingham Road, Prestwich, Manchester, M25 9NE				
<b>Proposal:</b>	Raised decking and boundary fence at rear				
<b>Application No.:</b>	63564	<b>App. Type:</b>	FUL	22/02/2019	Approve with Conditions
<b>Location:</b>	6 & 7 Park Hill, Bury Old Road, Prestwich, Manchester, M25 0FX				
<b>Proposal:</b>	Single storey extension at side/rear with new external staircase and entrance to existing first floor flat (no. 7); New shop front and roller shutter (no. 6)				
<b>Application No.:</b>	63629	<b>App. Type:</b>	FUL	22/02/2019	Approve with Conditions
<b>Location:</b>	8 Park Hill, Bury Old Road, Prestwich, Manchester, M25 0FX				
<b>Proposal:</b>	Single storey extension at side/rear; New shop front				

<b>Application No.:</b>	63635	<b>App. Type:</b>	FUL	15/03/2019	Approve with Conditions
<b>Location:</b>	19 Eastleigh Road, Prestwich, Manchester, M25 0BQ				
<b>Proposal:</b>	First floor extension at side; Front porch				
<b>Application No.:</b>	63647	<b>App. Type:</b>	FUL	15/02/2019	Approve with Conditions
<b>Location:</b>	49 Windsor Road, Prestwich, Manchester, M25 0FF				
<b>Proposal:</b>	Two storey extension at side; Single storey extension at rear				
<b>Application No.:</b>	63726	<b>App. Type:</b>	CON	11/02/2019	Raise No Objection
<b>Location:</b>	9 Union Terrace, Bury Old Road, Salford, M7 4ZH				
<b>Proposal:</b>	Article 18 consultation from Urban Vision (Ref: 19/72965/FUL) - Installation of new shop front				
<b>Application No.:</b>	63736	<b>App. Type:</b>	FUL	13/03/2019	Approve with Conditions
<b>Location:</b>	75 Albert Avenue, Prestwich, Manchester, M25 0LU				
<b>Proposal:</b>	Single storey extension at rear				
<b>Application No.:</b>	63756	<b>App. Type:</b>	GPDE	05/03/2019	Prior Approval Not Required - Extension
<b>Location:</b>	11 Dorchester Avenue, Prestwich, Manchester, M25 0LH				
<b>Proposal:</b>	Prior notification for proposed single storey rear extension				

Ward: **Prestwich - St Mary's**

<b>Application No.:</b>	63588	<b>App. Type:</b>	FUL	04/03/2019	Approve with Conditions
<b>Location:</b>	38 Prestwich Park Road South, Prestwich, Manchester, M25 9PE				
<b>Proposal:</b>	Demolition of existing two storey rear extension; Two storey extension at rear with balcony and single storey extension at side; Dormer at front; Installation of basement window to front elevation; Alterations/repairs to existing boundary wall and formation of new front driveway with gates/vehicular access to garage; Replacement windows				
<b>Application No.:</b>	63595	<b>App. Type:</b>	FUL	11/02/2019	Approve with Conditions
<b>Location:</b>	12 St Marys Road, Prestwich, Manchester, M25 1AP				
<b>Proposal:</b>	Removal of existing conservatory and erection of single storey rear extension and single storey side extension				
<b>Application No.:</b>	63608	<b>App. Type:</b>	FUL	15/02/2019	Approve with Conditions
<b>Location:</b>	10 Sandylands Drive, Prestwich, Manchester, M25 9SH				
<b>Proposal:</b>	Single storey extension at front/side; Single storey extension at rear with glazed safety barrier along the parapet wall'				
<b>Application No.:</b>	63609	<b>App. Type:</b>	FUL	07/03/2019	Approve with Conditions
<b>Location:</b>	Our Lady of Grace RC Primary School, Highfield Road, Prestwich, Manchester, M25 3AS				
<b>Proposal:</b>	Extension to existing main school hall				

<b>Application No.:</b>	63623	<b>App. Type:</b>	LDCP	22/02/2019	Lawful Development
<b>Location:</b>	28 Stanley Avenue South, Prestwich, Manchester, M25 3AR				
<b>Proposal:</b>	Lawful development certificate for proposed hip to gable roof with flat roof rear dormer				
<b>Application No.:</b>	63640	<b>App. Type:</b>	FUL	12/02/2019	Approve with Conditions
<b>Location:</b>	117 Prestwich Hills, Prestwich, Manchester, M25 9PY				
<b>Proposal:</b>	Roof extension to existing bungalow with dormers at front and rear to form two storey dwelling; Two storey extension at side and rear with rear balcony; Front porch				
<b>Application No.:</b>	63655	<b>App. Type:</b>	FUL	22/02/2019	Approve with Conditions
<b>Location:</b>	54 Ruskin Road, Prestwich, Manchester, M25 9GL				
<b>Proposal:</b>	First floor extension at side, single storey extension at rear, front bay to be rebuilt with gable roof and raised decking at rear				
<b>Application No.:</b>	63656	<b>App. Type:</b>	FUL	22/02/2019	Approve with Conditions
<b>Location:</b>	5 Butt Hill Drive, Prestwich, Manchester, M25 9PL				
<b>Proposal:</b>	Two storey extension at rear				
<b>Application No.:</b>	63711	<b>App. Type:</b>	FUL	04/03/2019	Approve with Conditions
<b>Location:</b>	11 Butt Hill Drive, Prestwich, Manchester, M25 9PL				
<b>Proposal:</b>	Two storey side extension				
<b>Application No.:</b>	63749	<b>App. Type:</b>	FUL	15/03/2019	Approve with Conditions
<b>Location:</b>	47 Agecroft Road East, Prestwich, Manchester, M25 9RQ				
<b>Proposal:</b>	Conversion of existing garage to living accommodation and link to new single storey extension at side/rear				
<b>Application No.:</b>	63770	<b>App. Type:</b>	FUL	12/03/2019	Approve with Conditions
<b>Location:</b>	38 Venwood Road, Prestwich, Manchester, M25 9UB				
<b>Proposal:</b>	Two storey extension at rear				
<b>Application No.:</b>	63781	<b>App. Type:</b>	GPDE	18/02/2019	Prior Approval Required Refused - Ext
<b>Location:</b>	166 Hilton Lane, Prestwich, Manchester, M25 9QZ				
<b>Proposal:</b>	Prior notification for proposed single storey rear extension				
<b>Application No.:</b>	63863	<b>App. Type:</b>	CON	12/03/2019	Raise No Objection
<b>Location:</b>	Clifton Materials Recycling Facility, Former Pilkington Tiles, Rake Lane, Salford, Clifton, M27 8LP				
<b>Proposal:</b>	Article 18 consultation from Urban Vision (Ref: 19/72952/FUL) - Change of use to a waste transfer station including physical treatment of inert and non-hazardous waste				

Ward: **Radcliffe - East**

<b>Application No.:</b>	63361	<b>App. Type:</b>	RES	15/03/2019	Approve with Conditions
<b>Location:</b>	Land at Bury Road/York Street Radcliffe, Manchester, M26 2WH				
<b>Proposal:</b>	Reserved matters approval for the layout, appearance and landscaping (Matters of scale and access have already been approved)				



<b>Application No.:</b>	63581	<b>App. Type:</b>	FUL	11/02/2019	Approve with Conditions
<b>Location:</b>	195 Bury Road & 2 Blenmar Close, Radcliffe, Manchester, M26 2XF				
<b>Proposal:</b>	Two storey extension at front/side and single storey extension at rear (195 Bury Road); Single storey extension at rear (2 Blenmar Close)				
<b>Application No.:</b>	63641	<b>App. Type:</b>	FUL	04/03/2019	Approve with Conditions
<b>Location:</b>	14 Church Street West, Radcliffe, Manchester, M26 2SQ				
<b>Proposal:</b>	Change of use from shop (Class A1) to podiatry/chiropractic clinic (Class D1)				
<b>Application No.:</b>	63650	<b>App. Type:</b>	FUL	13/03/2019	Refused
<b>Location:</b>	54 Bright Street, Radcliffe, Manchester, M26 2XX				
<b>Proposal:</b>	Change of use of part of ground floor from shop (Class A1) to hot food takeaway (Class A5); Installation of flue at rear				
<b>Application No.:</b>	63683	<b>App. Type:</b>	FUL	12/03/2019	Approve with Conditions
<b>Location:</b>	14 Stable Fold, Radcliffe, Manchester, M26 4ST				
<b>Proposal:</b>	Two storey extension at side and single storey extension at rear				
<b>Application No.:</b>	63684	<b>App. Type:</b>	FUL	01/03/2019	Approve with Conditions
<b>Location:</b>	2 Hunter Drive, Radcliffe, Manchester, M26 4NL				
<b>Proposal:</b>	Gable roof extensions with dormer at rear				
<b>Application No.:</b>	63697	<b>App. Type:</b>	FUL	07/03/2019	Approve with Conditions
<b>Location:</b>	89 Warwick Road, Radcliffe, Manchester, M26 4HL				
<b>Proposal:</b>	Single storey side extension with front canopy roof				
<b>Application No.:</b>	63757	<b>App. Type:</b>	LDCP	13/03/2019	Lawful Development
<b>Location:</b>	16 Hardys Drive, Radcliffe, M26 2TL				
<b>Proposal:</b>	Lawful development certificate for proposed single storey rear extension to form additional living accommodation				

Ward: **Radcliffe - North**

<b>Application No.:</b>	63605	<b>App. Type:</b>	FUL	22/02/2019	Approve with Conditions
<b>Location:</b>	35 Greenside, Ainsworth, Bolton, BL2 5SF				
<b>Proposal:</b>	Two storey extension at front, side and rear with juliet balcony at rear; Single storey extensions at front and rear; Render to external elevations				
<b>Application No.:</b>	63611	<b>App. Type:</b>	OUT	07/03/2019	Approve with Conditions
<b>Location:</b>	Land adjacent to 100 Bury New Road, Radcliffe, Bolton, BL2 6QB				
<b>Proposal:</b>	Outline - Erection of 2 no. detached dwellings with details of access, layout and scale (reserved matters for appearance and landscaping)				
<b>Application No.:</b>	63668	<b>App. Type:</b>	FUL	21/02/2019	Approve with Conditions
<b>Location:</b>	1A Browns Road, Radcliffe, Bolton, BL2 6RQ				
<b>Proposal:</b>	Porch at front				

<b>Application No.:</b>	63682	<b>App. Type:</b>	P3CPA	25/02/2019	Prior Approval Required and Granted
<b>Location:</b>	Bradley Fold Operations Depot, Bradley Fold Trading Estate, Bradley Fold Road, Radcliffe, Bolton, BL2 6RS				
<b>Proposal:</b>	Notification for prior approval for the installation of solar equipment - Installation of a solar PV system comprising of 92 PV modules to create 25.3kWp				
<b>Application No.:</b>	63705	<b>App. Type:</b>	FUL	15/03/2019	Approve with Conditions
<b>Location:</b>	30 Eastfields, Radcliffe, Manchester, M26 4QE				
<b>Proposal:</b>	Single storey extension at front and side; Widening of existing driveway				
<b>Application No.:</b>	63715	<b>App. Type:</b>	FUL	08/03/2019	Approve with Conditions
<b>Location:</b>	53 Turks Road, Radcliffe, Manchester, M26 4GA				
<b>Proposal:</b>	Single storey extension at side with new pitched roof at side; Alterations to door/windows to front elevation and render to external elevations				

Ward: **Radcliffe - West**

<b>Application No.:</b>	63701	<b>App. Type:</b>	FUL	15/03/2019	Approve with Conditions
<b>Location:</b>	Outwood Gate Farm, Ringley Road West, Radcliffe, Manchester, M26 1DL				
<b>Proposal:</b>	Construction of 5 no. dwellings with associated car parking				
<b>Application No.:</b>	63729	<b>App. Type:</b>	FUL	07/03/2019	Approve with Conditions
<b>Location:</b>	45 Highmeadow, Radcliffe, Manchester, M26 1YN				
<b>Proposal:</b>	Alterations to entrance at front and conversion of garage to living accommodation; Alterations to conservatory at rear				

Ward: **Ramsbottom + Tottington - Tottington**

<b>Application No.:</b>	63438	<b>App. Type:</b>	FUL	01/03/2019	Approve with Conditions
<b>Location:</b>	Land at Square Lodge, Kirklees Valley, Bury, BL8 4LT				
<b>Proposal:</b>	Erection of cabin for use as training area				
<b>Application No.:</b>	63689	<b>App. Type:</b>	FUL	25/02/2019	Approve with Conditions
<b>Location:</b>	56 Moorside Road, Tottington, Bury, BL8 3HP				
<b>Proposal:</b>	Single storey extension at rear				
<b>Application No.:</b>	63694	<b>App. Type:</b>	FUL	07/03/2019	Approve with Conditions
<b>Location:</b>	1 Ryecroft Avenue, Tottington, Bury, BL8 3LX				
<b>Proposal:</b>	Single storey extension at side				

Ward: **Ramsbottom and Tottington - Ramsbottom**

<b>Application No.:</b>	63316	<b>App. Type:</b>	FUL	25/02/2019	Approve with Conditions
<b>Location:</b>	Bridgehall, Hawkshaw Lane, Ramsbottom, Bury, BL8 4LD				
<b>Proposal:</b>	Ground mounted solar panels total area covered is 100m2 (20m x 5m)				

<b>Application No.:</b>	63555	<b>App. Type:</b>	FUL	07/03/2019	Approve with Conditions
<b>Location:</b>	163 (a) Stubbins Lane, Ramsbottom, Bury, BL0 0PR				
<b>Proposal:</b>	Change of use of single storey detached annexe extension at rear to self contained dwelling with single storey extension and alterations				
<b>Application No.:</b>	63615	<b>App. Type:</b>	FUL	12/02/2019	Approve with Conditions
<b>Location:</b>	Railway Hotel, 2 Bridge Street, Ramsbottom, Bury, BL0 9AQ				
<b>Proposal:</b>	New rear entrance lobby; New opening formed to allow outside serverly in beer garden; New access ramp at the front; general works in beer garden including erection of timber pergola				
<b>Application No.:</b>	63627	<b>App. Type:</b>	FUL	01/03/2019	Approve with Conditions
<b>Location:</b>	41 Bolton Street, Ramsbottom, Bury, BL0 9HU				
<b>Proposal:</b>	Change of use from shop/therapy clinic (Sui Generis) to restaurant (Class A3); Installation of flue at rear				
<b>Application No.:</b>	63755	<b>App. Type:</b>	FUL	08/03/2019	Approve with Conditions
<b>Location:</b>	42 Whittingham Drive, Ramsbottom, Bury, BL0 9LZ				
<b>Proposal:</b>	Single storey extension at side				

Ward: **Whitefield + Unsworth - Besses**

<b>Application No.:</b>	63496	<b>App. Type:</b>	FUL	12/02/2019	Approve with Conditions
<b>Location:</b>	8 Derwent Avenue, Whitefield, Manchester, M45 8EW				
<b>Proposal:</b>	Two storey extension at side				
<b>Application No.:</b>	63710	<b>App. Type:</b>	FUL	04/03/2019	Approve with Conditions
<b>Location:</b>	101 Cunningham Drive, Bury, BL9 8PD				
<b>Proposal:</b>	Two storey extension at side and single storey extension at rear; Creation of off street parking for 2 no. vehicles				
<b>Application No.:</b>	63797	<b>App. Type:</b>	LDCP	13/03/2019	Refused
<b>Location:</b>	10 Buckingham Avenue, Whitefield, Manchester, M45 6DJ				
<b>Proposal:</b>	Lawful development certificate for proposed one storey side extension				
<b>Application No.:</b>	63867	<b>App. Type:</b>	LDCP	13/03/2019	Lawful Development
<b>Location:</b>	60 Bury New Road, Whitefield, Manchester, M45 7EL				
<b>Proposal:</b>	Lawful development certificate for proposed single storey side extension				

Ward: **Whitefield + Unsworth - Pilkington Park**

<b>Application No.:</b>	63593	<b>App. Type:</b>	FUL	15/03/2019	Approve with Conditions
<b>Location:</b>	5 Parklands, Whitefield, Manchester, M45 7WY				
<b>Proposal:</b>	Roof extension and elevational alterations to form first floor accommodation to existing bungalow				

<b>Application No.:</b>	63642	<b>App. Type:</b>	FUL	21/02/2019	Approve with Conditions
<b>Location:</b>	7 Greystoke Crescent, Whitefield, Manchester, M45 7UN				
<b>Proposal:</b>	Two storey extension at side and single storey extension at side/rear				
<b>Application No.:</b>	63660	<b>App. Type:</b>	FUL	12/02/2019	Approve with Conditions
<b>Location:</b>	48 Hillingdon Road, Whitefield, Manchester, M45 7QN				
<b>Proposal:</b>	Single storey side extension with pitched roof over porch area; Render to all elevations and new roof				
<b>Application No.:</b>	63666	<b>App. Type:</b>	FUL	21/02/2019	Approve with Conditions
<b>Location:</b>	8 The Fairways, Whitefield, Manchester, M45 7BN				
<b>Proposal:</b>	Two storey side extension and single storey rear extension				
<b>Application No.:</b>	63691	<b>App. Type:</b>	FUL	07/03/2019	Approve with Conditions
<b>Location:</b>	33 Sergeants Lane, Whitefield, Manchester, M45 7TR				
<b>Proposal:</b>	Single storey porch extension at front with conversion of garage into bedroom				
<b>Application No.:</b>	63693	<b>App. Type:</b>	FUL	07/03/2019	Approve with Conditions
<b>Location:</b>	146 Park Lane, Whitefield, Manchester, M45 7PX				
<b>Proposal:</b>	Change of use from off license (Class A1) to religious centre (Class D1)				
<b>Application No.:</b>	63695	<b>App. Type:</b>	ADV	04/03/2019	Approve with Conditions
<b>Location:</b>	Unit 1, Bank Street, Whitefield, Manchester, M45 7JF				
<b>Proposal:</b>	1 no. set of halo illuminated individual letters (Sign 1); 1 no. set of non illuminated individual letters (Sign 2)				
<b>Application No.:</b>	63737	<b>App. Type:</b>	FUL	08/03/2019	Approve with Conditions
<b>Location:</b>	38 Ringley Road, Whitefield, Manchester, M45 7LE				
<b>Proposal:</b>	Demolition of existing bay window to rear and replace with new timber frame bay window with first floor balcony including associated works and raised terrace area to rear				
<b>Application No.:</b>	63740	<b>App. Type:</b>	FUL	12/03/2019	Approve with Conditions
<b>Location:</b>	1 Old Hall Road, Whitefield, Manchester, M45 7QW				
<b>Proposal:</b>	Single storey extension at side and rear				
<b>Application No.:</b>	63789	<b>App. Type:</b>	GPDE	12/03/2019	Prior Approval Not Required - Extension
<b>Location:</b>	143 Lily Hill Street, Whitefield, Manchester, M45 7SN				
<b>Proposal:</b>	Prior notification for proposed single storey rear extension				
<b>Application No.:</b>	63836	<b>App. Type:</b>	LDCP	13/03/2019	Lawful Development
<b>Location:</b>	15 Ten Acre Drive, Whitefield, Manchester, M45 7LQ				
<b>Proposal:</b>	Lawful development certificate for proposed removal of existing single storey, flat roofed rear extension and replace with new larger single storey rear extension with pitched roof to include bi-fold doors and velux windows in new extension				



Ward: **Whitefield + Unsworth - Unsworth**

<b>Application No.:</b>	63602	<b>App. Type:</b>	FUL	15/02/2019	Approve with Conditions
<b>Location:</b>	34 Mather Avenue, Whitefield, Manchester, M45 8WX				
<b>Proposal:</b>	Two storey extension at side with basement level and single storey extension at front/side; Extension of existing driveway				

<b>Application No.:</b>	63674	<b>App. Type:</b>	FUL	07/03/2019	Approve with Conditions
<b>Location:</b>	8 Hillsborough Drive, Bury, BL9 8LE				
<b>Proposal:</b>	Single storey extension at rear				

<b>Application No.:</b>	63706	<b>App. Type:</b>	FUL	07/03/2019	Approve with Conditions
<b>Location:</b>	35 Sunny Bank Road, Bury, BL9 8HE				
<b>Proposal:</b>	Two/single storey extension at rear				

This page is intentionally left blank

# REPORT FOR NOTING

<b>DECISION OF:</b>	<b>PLANNING CONTROL COMMITTEE</b>
<b>DATE:</b>	<b>26 March 2019</b>
<b>SUBJECT:</b>	<b>PLANNING APPEALS</b>
<b>REPORT FROM:</b>	<b>HEAD OF DEVELOPMENT MANAGEMENT</b>
<b>CONTACT OFFICER:</b>	<b>DAVID MARNO</b>
<b>TYPE OF DECISION:</b>	<b>COUNCIL</b>
<b>FREEDOM OF INFORMATION/STATUS:</b>	This paper is within the public domain
<b>SUMMARY:</b>	<p>Planning Appeals:</p> <ul style="list-style-type: none"> <li>- Lodged</li> <li>- Determined</li> </ul> <p>Enforcement Appeals</p> <ul style="list-style-type: none"> <li>- Lodged</li> <li>- Determined</li> </ul>
<b>OPTIONS &amp; RECOMMENDED OPTION</b>	The Committee is recommended to the note the report and appendices
<b>IMPLICATIONS:</b>	
<b>Corporate Aims/Policy Framework:</b>	Do the proposals accord with the Policy Framework? Yes
<b>Statement by the S151 Officer: Financial Implications and Risk Considerations:</b>	Executive Director of Resources to advise regarding risk management
<b>Statement by Executive Director of Resources:</b>	N/A
<b>Equality/Diversity implications:</b>	No
<b>Considered by Monitoring Officer:</b>	N/A

<b>Wards Affected:</b>	All listed
<b>Scrutiny Interest:</b>	N/A

## TRACKING/PROCESS

## DIRECTOR:

Chief Executive/ Strategic Leadership Team	Executive Member/Chair	Ward Members	Partners
Scrutiny Committee	Committee	Council	

### 1.0 BACKGROUND

This is a monthly report to the Committee of the Planning Appeals lodged against decisions of the authority and against Enforcement Notices served and those that have been subsequently determined by the Planning Inspectorate.

Attached to the report are the Inspectors Decisions and a verbal report will be presented to the Committee on the implications of the decisions on the Appeals that were upheld.

### 2.0 CONCLUSION

That the item be noted.

### List of Background Papers:-

#### Contact Details:-

David Marno, Head of Development Management  
Planning Services, Department for Resources and Regulation,  
3 Knowsley Place ,Bury BL9 0EJ

**Tel: 0161 253 5291**

**Email: [d.marno@bury.gov.uk](mailto:d.marno@bury.gov.uk)**



**Planning Appeals Lodged  
between 11/02/2019 and 17/03/2019**



**Application No.:** 63156/FUL

**Appeal lodged:** 12/03/2019

**Decision level:** DEL

**Appeal Type:**

**Recommended Decision:** Refuse

**Applicant:** The Great Northern Property Company Limited

**Location** 19 Cobden Street, Radcliffe, Manchester, M26 4HR

**Proposal** Conversion of existing community centre/club to form 2 no. dwellings; New pitched roof and alterations to fenestration

---

**Application No.:** 63358/ADV

**Appeal lodged:** 27/02/2019

**Decision level:** DEL

**Appeal Type:** Written Representations

**Recommended Decision:** Refuse

**Applicant:** Mala Cuisine Ltd

**Location** 18-20 Holcombe Village, Ramsbottom, Bury, BL8 4LZ

**Proposal** 1 No. internally illuminated fascia sign and 1 no. internally illuminated projecting sign

---

**Total Number of Appeals Lodged: 2**

**Planning Appeals Decided  
between 11/02/2019 and 17/03/2019**



<b>Application No.:</b> 62473/FUL	<b>Appeal Decision:</b> Part allowed
<b>Decision level:</b> COM	<b>Date:</b> 04/03/2019
<b>Recommended Decision:</b> Split Decision	<b>Appeal type:</b> Written Representations
<b>Applicant:</b> Mr Richard Ali	
<b>Location:</b> Bramley Fold Farm, Hawkshaw Lane, Tottington, Bury, BL8 4LG	
<b>Proposal:</b> Proposal A: Alterations to existing shed Proposal B: Two storey extension at rear and two storey extension at side	
<b>Application No.:</b> 62677/AG	<b>Appeal Decision:</b> Allowed
<b>Decision level:</b> DEL	<b>Date:</b> 07/03/2019
<b>Recommended Decision:</b> Prior Approval Required	<b>Appeal type:</b> Written Representations
<b>Applicant:</b> Mr J Brown	
<b>Location:</b> Twine Valley Farm, Church Road, Shuttleworth, Ramsbottom, Bury, BL0 0EH	
<b>Proposal:</b> Prior notification of proposed agricultural building for the storage of silage	
<b>Application No.:</b> 62837/FUL	<b>Appeal Decision:</b> Dismissed
<b>Decision level:</b> DEL	<b>Date:</b> 11/02/2019
<b>Recommended Decision:</b> Refuse	<b>Appeal type:</b> Written Representations
<b>Applicant:</b> Fenster Trade Frames	
<b>Location:</b> Units 1-3 Goodlad Street, Bury, BL8 1SX	
<b>Proposal:</b> Erection of 2.4 metres high palisade fencing and gate	

---

## Appeal Decision

Site visit made on 21 January 2019

**by A Parkin BA (Hons) DipTP MRTPI**

an Inspector appointed by the Secretary of State

Decision date: 4 March 2019

---

**Appeal Ref: APP/T4210/D/18/3211132**

**Bramley Fold Farm, Hawkshaw Lane, Tottington BL8 4LG**

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
  - The appeal is made by Mr Richard Ali against the decision of Bury Metropolitan Borough Council.
  - The application Ref 62473, dated 19 February 2018, was refused by notice dated 20 June 2018.
  - The development proposed is the erection of a replacement shed following demolition of existing, and extensions to existing dwelling.
- 

### Decision

1. The appeal is dismissed insofar as it relates to extensions to existing dwelling. The appeal is allowed and planning permission is granted for the erection of a replacement shed following demolition of existing at Bramley Fold Farm, Hawkshaw Lane, Tottington BL8 4LG in accordance with the terms of the application, Ref 62473, dated 19 February 2018, and subject to the following conditions:
  - 1) The development hereby permitted shall begin not later than 3 years from the date of this decision.
  - 2) The development hereby permitted shall be carried out in accordance with the following approved plans: 17/465.08B and the planning application location plan App. No 62473.

### Application for costs

2. An application for costs was made by Mr Richard Ali against Bury Metropolitan Borough Council. This application is the subject of a separate Decision.

### Preliminary Matters

3. This appeal is against a split decision by the Council. Section 79 (1) (b) of the Town and Country Planning Act 1990 (the Act) allows that, on appeal under section 78 of the Act, the Secretary of State may 'reverse or vary any part of the decision of the local planning authority (whether the appeal relates to that part of it or not), and may deal with the application as if it had been made to him in the first instance'.
4. The proposed development comprised two distinct elements, referred to as Proposal A and Proposal B by the Council on its decision notice. Proposal A was for the erection of a replacement shed following demolition of an existing shed and Proposal B was for extensions to the existing dwelling. Notwithstanding

that the appeal before me was made against the refusal of Proposal B, I have also considered Proposal A in my decision.

5. The description of the proposed development on the application form is inaccurate, in that it does not refer to the replacement of an existing shed with a new shed and refers to internal alterations that do not require planning permission. I have therefore amended the description accordingly above.

### **Main Issues**

6. The main issues are:

- whether the proposals are inappropriate development in the Green Belt having regard to the National Planning Policy Framework 2019 (the Framework) and local planning policy
- the effect of the proposals on the openness of the Green Belt
- whether the proposed development would preserve or enhance the character or appearance of a non-designated heritage asset (NDHA)
- if the proposals are inappropriate development whether the harm by reason of inappropriateness, and any other harm, is clearly outweighed by other considerations so as to amount to the very special circumstances necessary to justify the development.

### **Reasons**

#### *Inappropriate Development in the Green Belt*

7. Policy OL1/2 (new buildings in the Green Belt) of the Bury Unitary Development Plan 1997 (BUDP) outlines circumstances in which the construction of new buildings in the Green Belt can be considered acceptable. Policy OL1/2 predates the Framework, and whilst generally consistent, differs in certain respects relevant to this appeal, and so I have given it limited weight in my decision. Supplementary Planning Document 8 - New buildings and associated development in the Green Belt 2007 (SPD8) provides guidance to the application of BUDP policies, including Policy OL1/2. SPD8 also predates the Framework and is inconsistent with it, including in terms of specifying an indicative acceptable size for an extension relative to the original building. I have therefore given SPD8 only very limited weight.
8. The Framework states that new buildings are inappropriate within the Green Belt unless they comprise one of the exceptions outlined in paragraph 145. These include:
- c) the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building<sup>1</sup>
  - d) the replacement of a building, provided the new building is in the same use and not materially larger than the one it replaces

I have given significant weight to the Framework as a material consideration in determining this appeal.

---

<sup>1</sup> The Framework Glossary defines and original building as *A building as it existed on 1 July 1948*



9. The replacement shed would be located some distance to the south west of the main building at Bramley Fold Farm, on a narrow track that is signposted as a public footpath, and which provides access to a nearby dwelling - 'Melrose'. To the south of the proposed shed is a small housing estate within Hawkshaw. The existing timber shed would be replaced with a new timber shed with a corrugated metal roof. The submitted drawings show that the replacement shed would be constructed on the same footprint, to the same height and to a similar design as existing. It would not, therefore, be materially larger than the existing shed.
10. For the reasons given above, the replacement shed would not be inappropriate development in the Green Belt and would therefore accord with Policy OL1/2 of the BUDP and with the Framework in this regard.
11. The other part of the proposed development would be two 2-storey extensions to the main building at Bramley Fold Farm. The existing main building is 2-storeys in height and has a generally rectangular shape, with a pitched roof. A 1947 map provided by the appellant shows that the main building included an additional element at the northwest corner. Given the date of this map it is likely that this therefore formed part of the 'original building'. However, this element has been demolished, the map is not at a measurable scale and no information has been provided regarding the design or volume of this element.
12. The roof slope to the north of the building extends to immediately above ground floor level and is described as a 'Catslide' roof. There are two single storey outriggers projecting from the main northern elevation of the building, one of which includes a substantial chimney stack, which rises close to the height of the roof's ridge. A large freestanding storage tank is also located to the north of the main building. There are hedgerows and a low wall and fence around the boundaries of the appeal site, and the land to the north of the main building within the site has a gentle upward slope. There is a small porch on the southern (front) elevation of the building, which provides the main access to the property.
13. At the eastern end of the building and attached to it, there is a 2-storey structure on a generally square-shaped footprint. The structure is integral to the main building but is set back from the front elevation a short distance. It has a lower ridge height to its pitched roof, the northern slope of which follows the 'Catslide' form of the roof of the main building.
14. One extension would be a 2-storey structure attached to the western end of the main building, on currently vacant land, but land which was partly occupied by a built structure in 1947. It would be set back a short distance from the front and rear elevations, with a slightly lower ridge height than the ridge of the main building. To the rear of this proposed extension would be a gable roof, level with and projecting from the proposed extension's ridgeline.
15. The other extension would be to the northern (rear) elevation of the main building. It would project a similar distance to the north as the existing outriggers but would be 2-storeys in height and span a width of around half of the main building. There would be three gables projecting to the rear, with ridge heights slightly below the height of the ridge on the main building. A flat roofed, single storey, open-sided log store / oil tank store would also be constructed at the western end of the proposed extension.

16. As I have limited information regarding the now demolished element of the building as described above, it is not possible to definitively assess the impact of the proposed extensions on the original building. However, in terms of volume calculations, both main parties have used the existing building as a proxy for the original building. Given the uncertainty regarding the now demolished element of the building, this is a reasonable approach. On that basis, it is also reasonable to assess the visual impact of the proposed extensions in relation to the existing building.
17. The proposed extensions would increase the volume of the existing building by some 38%. Furthermore, the 2-storey gables on the northern parts of both extensions would significantly change the appearance of the gable and rear elevations of the main building, projecting well beyond the distinctive *Catslide* roof. Both extensions would be disproportionate additions to the existing building by reason of their size, design, massing and position.
18. For these reasons the proposed extensions would be inappropriate development in the Green Belt and would conflict with Policy OL1/2 of the BUDP and with the Framework, in this regard.

*Openness of the Green Belt*

19. As set out above, the replacement of the existing shed is not inappropriate development in the Green Belt such that further consideration of its impact in terms of the openness of the Green Belt is not needed.
20. The Framework states that openness is an essential characteristic of the Green Belt. Bramley Fold Farm is located a short distance to the north of Hawkshaw and comprises a 2-storey pitched roof building, with three single-storey out-buildings located a short distance to the northwest. Surrounding much of the appeal site are small fields which have a generally open appearance.
21. As referred to above, the proposed development would increase the volume of the main building by some 38%. It would also extend the existing building footprint by some 23%, to the west and the north. This would therefore decrease the openness of the Green Belt compared to the existing situation.
22. Furthermore, the proposed western extension would be visible from the south, including from Hawkshaw Lane and the footpath by the site of the proposed replacement shed. The size, design, massing and position of the proposed northern extensions mean that they would also be visible from the north and east along Hawkshaw Lane. Notwithstanding the topography of the appeal site and the hedgerows around its boundaries and along Hawkshaw Lane, the proposed extensions would have a negative visual impact in terms of openness.
23. For these reasons, the proposed extensions would reduce the openness of the Green Belt in comparison to the existing building and would therefore conflict with the Framework in this regard.

*Character and appearance of a non-designated heritage asset*

24. Planning Practice Guidance (PPG) states *that local planning authorities may identify non-designated heritage assets*. Bramley Fold Farm has been identified on the Council's draft list of NDHAs, although the Council has confirmed that this list has not been consulted upon and has not been formally adopted. However, with reference to PPG and the Framework, it is not

necessary for a building to be on an adopted local list or consulted upon, in order to be identified as an NDHA.

25. The local list record for Bramley Fold Farm, produced by the Council, does not contain much information as to the *significance*<sup>2</sup> of the NDHA. The appellant refers to the history of the building and the numerous alterations that have been made to it over time to suit the needs of different occupiers. However, the Council's officer report states that the shape of the existing building, with 'a long, lowish profile and catslide roof to the rear' is an important feature in terms of its character and significance, and from the information before me I have found no reason to disagree.
26. The appellant does not consider that the Council assessed the significance of the Bramley Fold Farm in accordance with the Framework<sup>3</sup>, and refers to a High Court Judgement in this regard<sup>4</sup>. I have had regard to paragraph 197 of the Framework, which states that the *effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.*
27. As set out above, the 2-storey gables on the northern parts of both extensions would project well beyond the distinctive *Catslide* roof and would significantly alter the appearance of the side and rear elevations of the main building. In my view, the size, design, position and massing of the proposed extensions would cause substantial harm to these features, which have been identified as being of architectural significance to the NDHA in the Council's officer report, and with which I broadly agree.
28. For these reasons the proposed extensions would be harmful to the character and appearance of this NDHA and would therefore conflict with the Framework in this regard.

#### *Other considerations*

29. The appellant states that the proposed extensions, and associated internal alterations, are needed to allow three generations of the family to live together, with sufficient space and privacy to meet their current and future needs. Two family members are said to work from home and it is envisaged that a family member will also attend the village school. Furthermore, the appellant states that two members of the family have 'serious health issues'. The Design and Access Statement refers to a family member suffering from a critical illness, and that the western extension would be used as live/work space for a person 'classified as disabled'. The proposed development would enable family members to provide mutual support to each other and 'provide single level living for the less mobile members of the family'.
30. In exercising my function on behalf of a public authority I have had due regard to the Public Sector Equality Duty contained in section 149 of the Equality Act

---

<sup>2</sup> As set out in the Framework's Glossary

<sup>3</sup> Reference is made to paragraph 135 and to the definition of Significance in Annex 2 of the Framework 2012. These two elements are substantially the same in the Framework 2019, at paragraph 197 and the Glossary.

<sup>4</sup> Case No: CO/3971/2014

2010. I have also had due regard to the evidence regarding the appellant's family circumstances referred to above and I have given this moderate weight.
31. The appellant states that the building is currently thermally inefficient, and that this would be addressed by the proposed package of works. Reference is also made to existing solar panels at the property and to the examination of other renewable energy measures in the future. However, no substantive details of how the proposed development would improve the environmental performance of the building have been provided and I have given this only limited weight.
32. The appellant refers to other properties in the local area that have been significantly extended, with the consent of the Council<sup>5</sup>. I am not familiar with the details or circumstances of these proposals, and in any event, I have considered this appeal on its individual merits. I therefore give this very limited weight.
33. The appellant makes a number of comments concerning the identification of the main building at Bramley Fold Farm as an NDHA, the process of identification and the information that they have been required to provide as a result to support their application. The appellant also refers to the design of the proposal and the limited visibility of the proposed extensions. The appellant also notes that Bramley Fold Farm has been altered over time to suit the needs of its occupiers and that the appeal development would be smaller than the one originally proposed. The appellant also notes that no objections to the proposed extensions have been made by neighbouring occupiers.
34. However, as set out above, Bramley Fold Farm has been identified as an NDHA by the Council in accordance with the Framework and PPG. I have also determined that the proposed extensions would harm its character and appearance and would be visible from public land. I note the absence of objections from nearby occupiers to the proposal. However, this does not cause me to reach a different conclusion in relation to the harm that the proposal would cause to the character and appearance of an NDHA, as set out above. I therefore give these matters very limited weight.
35. Inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances. I find that the other considerations in this case, as set out above, do not clearly outweigh the totality of the harm to the Green Belt that I have identified, bearing in mind the great importance the Government attaches to the Green Belt. Consequently, the very special circumstances necessary to justify the proposed extensions do not exist. The proposed extensions would therefore conflict with Policy OL1/2 of the BUDP and with the Framework, in this regard.

### **Conditions and Conclusion**

36. With respect to the replacement shed, in addition to the standard commencement condition, a condition specifying the approved plans would be necessary for reasons of certainty.

---

<sup>5</sup> 'Melrose'; Tonge Fold Farm; No 17 Bolton Road; and, No 31 Quarlton Drive.

37. For the reasons set out above, I conclude that the appeal should be dismissed insofar as it relates to the proposed extensions, but allowed insofar as it relates to the replacement shed.

*Andrew Parkin*

INSPECTOR



---

## Costs Decision

Site visit made on 21 January 2019

**by A Parkin BA (Hons) DipTP MRTPI**

an Inspector appointed by the Secretary of State

Decision date: 4 March 2019

---

### **Costs application in relation to Appeal Ref: APP/T4210/D/18/3211132 Bramley Fold Farm, Hawkshaw Lane, Tottington BL8 4LG**

- The application is made under the Town and Country Planning Act 1990, sections 78, 322 and Schedule 6, and the Local Government Act 1972, section 250(5).
  - The application is made by Mr Richard Ali for a full award of costs against Bury Metropolitan Borough Council.
  - The appeal was against the refusal of planning permission for extensions to existing dwelling.
- 

### **Decision**

1. The application for an award of costs is refused.

### **Preliminary Matters**

2. On the associated appeal decision I amended the description of the development to improve its accuracy and I have used the same description in the heading above.
3. The application for costs refers to three supporting documents: 'Complaint 1'; 'Complaint 2' and 'G.Little (18th August 2018)'. 'Complaint 2' was provided by the applicant somewhat later than 'Complaint 1' but I have had regard to it. The applicant has also confirmed that the document 'G.Little (18th August 2018)' was incorrectly labelled, and that it was the emailed letter to Mr G Little of Bury Council of the 12 August 2018 that was being referred to, and I have had regard to this in making my decision.

### **Reasons**

4. The Government's Planning Practice Guidance (PPG) advises that costs may be awarded where a party has behaved unreasonably, and that this unreasonable behaviour has directly caused another party to incur unnecessary or wasted expense in the appeal process.
5. The applicant considers that the Council has been inconsistent and unreasonable in its application of its own policies.
6. From the information before me, including the three documents referred to above, it is not evident that the Council has behaved unreasonably in refusing planning permission for the proposed extensions. The Council has assessed the impact of the proposed extensions on the Green Belt in accordance with the development plan and the National Planning Policy Framework (the Framework). The Council has also considered the applicant's family circumstances in reaching its decision.

7. The Council has assessed the impact of the proposed extensions on a non-designated heritage asset (NDHA) in accordance with the development plan and the Framework. I note that the applicant does not consider that Bramley Fold Farm should be identified as an NDHA. However, as set out in my main appeal decision, I am satisfied that the Council has identified the appeal property as an NDHA in accordance with national planning policy and guidance, that the applicant has been notified of this and has provided information to support the proposed extensions, as reasonably requested by the Council in the circumstances.
8. The applicant has provided details of correspondence with the Council in relation to an Environmental Information Regulations 2004 (EIR) request. This sought information in relation to policies relating to NDHAs; property summary sheets for certain properties on the draft local list of NDHAs; the notification processes for the owners of NDHAs; and whether planning applications for properties on the draft local list since 2010 have been required to submit heritage assessments. The EIR process and subsequent review are separate to the appeal process and this costs application. Consequently, they have not altered my overall determination of the appeal or of the costs application.
9. The applicant refers to a number of other decisions made by the Council at other nearby locations<sup>1</sup>, to highlight what are considered to be inconsistent applications of policy. I note that the Council considers that *none of the other proposals referred to are the same or even closely similar developments to the appeal development*. However, I am not fully familiar with these proposals and based upon the limited information before me it would not be appropriate for me to comment upon them. As set out above, I am broadly satisfied with the Council's approach to assessing the impacts of the proposed extensions at the appeal property, including in terms of the application of its own development plan policies.
10. The applicant also refers to a number of other planning applications / approvals for properties on the draft local list that have not been required to submit a Heritage Statement. Again, I am not fully familiar with these proposals and as set out above, in respect of the appeal development, the Council's request for information was reasonable.
11. From the information before me, I find that unreasonable behaviour by the Council, resulting in unnecessary or wasted expense as described in PPG, has not been demonstrated.

### **Conclusion**

12. For the reasons given above, I conclude that an award of costs is not justified.

*Andrew Parkin*

INSPECTOR

---

<sup>1</sup> 'Melrose'; Tonge Fold Farm; No 17 Bolton Road; and, No 31 Quarlton Drive.



---

## Appeal Decisions

Site visit made on 29 January 2019

**by A A Phillips BA(Hons) Dip TP MTP MRTPI**

**an Inspector appointed by the Secretary of State for Communities and Local Government**

**Decision date: 23 February 2019**

---

### **Appeal A: APP/T4210/C/18/3195131**

**Twine Valley Farm, Church Road, Shuttleworth, Ramsbottom, Bury BL0 OEH**

- The appeal is made under section 174 of the Town and Country Planning Act 1990 as amended by the Planning and Compensation Act 1991.
- The appeal is made by Ms J Brown of SR and RJ Brown Ltd against an enforcement notice issued by Bury Metropolitan Borough Council.
- The enforcement notice was issued on 31 January 2018.
- The breach of planning control as alleged in the notice is the erection of an agricultural building.
- The requirements of the notice are demolish and permanently remove the building, including the base and foundations.
- The period for compliance with the requirements is 60 days.
- The appeal is proceeding on the grounds set out in section 174(2) (a), (f) and (g) of the Town and Country Planning Act 1990 as amended.

**Summary of Decision: The appeal is allowed and the enforcement notice is quashed.**

---

### **Appeal B: APP/T4210/W/18/3202305**

**Twine Valley Farm, Church Road, Shuttleworth, Ramsbottom, Bury BL0 OEH**

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against the refusal to grant prior approval required under Schedule 2, Part 6, Class A of the Town and Country Planning (General Permitted Development) Order 2015.
- The appeal is made by Mr J Brown against the decision of Bury Metropolitan Borough Council.
- The application Ref 62677, dated 6 April 2018 was refused by notice dated 8 May 2018.
- The development proposed is an agricultural building for the storage of silage.

**Summary of Decision: The appeal is allowed.**

---

## **Background**

1. With respect to Appeal A it is my understanding that there is a deemed consent to carry out an agricultural development which complies with the limitations and conditions of Schedule 2, Part 6, Class A of the Town and Country Planning (General Permitted Development) Order 2015 (the GPDO). The building the subject of the enforcement notice has been built in approximately the same location, but it is a different size and design from that approved. The existing building has been the subject of a planning appeal <sup>1</sup> which was dismissed on 2 September 2016 for reasons relating to noise; however, at the time it was

---

<sup>1</sup> APP/T4210/W/16/3151468

proposed to use the building for housing livestock. The evidence before me, and my own site observations confirms that the building is not being used for housing livestock, but rather is being used for the storage of hay and machinery.

2. With respect to Appeal B I am aware that planning permission for an agricultural building for the storage of silage has previously been granted at the appeal site. That approval was for full planning permission because the footprint of the building was in excess of the limitations set out in the GPDO. I understand that the difference between the approved scheme and the current appeal proposal is that the height of the building is some 3 metres higher which is achieved by lowering the finished floor levels by approximately 1 metre. Consequently, the overall height difference is approximately 2 metres.
3. It is my understanding that an access track to the building is the subject of a separate enforcement investigation.

### **Appeal A on ground (a)**

4. The appeal site is in the Green Belt and therefore the relevant policy context for establishing whether the development is inappropriate development in the Green Belt is paragraph 145 of the National Planning Policy Framework (the Framework) and Policy OL1/2 of the Bury Unitary Development Plan adopted August 1997 (the UDP). The use of the building is for agricultural purposes and this is not a matter of dispute between the main parties. It is important to note here that the Framework sets no specific limits for the scale of such a building and furthermore, as it is one of the exceptions given in paragraph 145 of the Framework, the effects of an agricultural building on the openness of the Green Belt are not relevant in considering whether they are inappropriate.
5. Therefore, for the purposes of the Framework and the UDP the development is not inappropriate development in the Green Belt.
6. Consequently, I consider the main issues to be:
  - i. The effect on the character and appearance of the Special Landscape Area;
  - ii. The effect on the living conditions of the occupants of adjoining residential properties with particular reference to noise; and
  - iii. Whether the development poses an unacceptable risk of ground water contamination.

#### *Character and appearance of the Special Landscape Area*

7. The site is located within a Special Landscape Area and occupies an elevated and prominent within its surroundings. It is elevated above Bamford Road and Church Road and forms part of the local wider open ground of steep hills which is scattered with agricultural buildings. The building is a substantial structure which has an agricultural character and appearance, being constructed of concrete panels with Yorkshire boarding and a corrugated sheeting roof. The building's open side faces onto agricultural land. It is immediately above existing agricultural buildings of similar construction which are situated at a significantly lower level.

8. The building is prominent and as a result of its overall bulk, massing, scale, design and materiality it is a visually intrusive structure within its relatively open and elevated landscape surroundings. It is visible from some nearby areas, including residential properties and it dominates its immediate surroundings. However, the building is screened from some views by existing buildings, landscaping and topography and is seen in the context of other nearby agricultural buildings. Only a few residential properties have windows which directly face the appeal site.
9. I am also aware that there is a proposal which has deemed consent which would have a slightly lower ridge and eaves height and would not include the open side facing onto the agricultural land. It would incorporate similar materials. The visual effects of that building would nevertheless be similar to the existing building which is the subject of the enforcement notice. Indeed, the deemed approval building would have potentially greater impact on the character and appearance of the area because it would not have an open side and corners. From some viewpoints it would be more visually intrusive and harmful to the Special Landscape Area.
10. Therefore, I conclude that the visual effects of the appeal building do not result in more significant harm to the character and appearance of the Special Landscape Area than those of the scheme which benefits from deemed consent. Although there is some conflict with Policies OL4/5, EN1/2 and EN 9/1 of the UDP and the Council's Development Control Policy Guidance Note 8: New Buildings in the Green Belt (January 2007) (the SPD), the conflict I have identified would be outweighed by the lack of significant harm above that of the development which has deemed consent.
11. In coming to this conclusion I have taken account of the fact that the Council disagrees with the conclusions of my colleague Inspector who dealt with the previous appeal for the site <sup>2</sup>with regard to the comparison between the building which has deemed consent and the building which is the subject of the enforcement notice. I understand the difference between dealing with the retention of an unauthorised building and the distinct application for prior approval, but on the grounds that the prior approval could still be implemented I consider it entirely reasonable to take account of the differences between the two.

#### *Living conditions*

12. The building is a limited distance from residential properties; notably those along Church Street and Millhouse Street. The enforcement notice has been issued partly on basis that the building is being used for housing livestock, but at my site visit I noted that it is currently being used to store hay and machinery. In addition, the appellant has suggested that a suitably worded condition could be used to preclude the use of the building to keeping animals. I agree that this is a suitable approach and would mitigate the potential harm to living conditions relating to noise from animals. Should the building be used for keeping animals in the future the Council would be entitled to take appropriate action.

---

<sup>2</sup> APP/T4210/W/16/3151468



13. Therefore, on this issue I conclude that subject the use of a condition, the development would not have a harmful effect on the living conditions of the occupants of adjoining residential properties with particular reference to noise.

*Ground water contamination*

14. I have noted that this issue is identified as a reason for issuing the enforcement notice, but the Council has not provided evidence to support this in its Appeal Statement. There is insufficient evidence before me that any assessment of the risk of ground water contamination has been provided. Although contrary to the provisions of Policies ENV7/4 (Ground Water Protection) and ENV7/5 (Waste Water Management) of the UDP I am satisfied that a suitably worded condition could address the concerns and any conflict with the UDP. Consequently, I do not consider that this matter constitutes a reason to withhold the grant of planning permission in this case.

*Other matters*

15. In coming to my conclusions on this appeal I have had regard to the complex planning history of this and other adjacent sites and am aware of the previous approvals, refusals and investigations undertaken by the local planning authority.
16. Comments have been received with respect to the loss of trees and shrubs as result of the development that has taken place to date. A landscaping scheme, including tree and shrub planting will mitigate the harm that may have been caused by the loss of trees within the appeal site.
17. I have insufficient evidence that the stabilisation of land is requires with respect to the land on which the agricultural building has been erected. During my site visit I observed no obvious signs of the collapse of banking adjacent to the building.
18. The matter that the building has been erected without planning permission is not a reason in itself to dismiss the appeal. The development should be judged against material planning considerations.

*Conclusion and conditions*

19. I have concluded that the development is not inappropriate development in the Green Belt and that it does not result in significant harm to the character and appearance of the Special Landscape Area than the development which has deemed consent. Furthermore, I consider that the lack of evidence regarding ground water contamination could be controlled by a condition. The use of the building can be restricted to ensure it is not used for keeping animals and that approach would mitigate potential harm to living conditions from animal noises.
20. The appeal succeeds on ground (a) and planning permission will be granted.
21. The Council has not suggested conditions, but the appellant has done so. I have taken account of those and where necessary amended them in line with national policy and guidance. Conditions should only be used to enable a development to proceed by mitigating the adverse effects where it would otherwise have been necessary to refuse planning permission by dismissing this appeal on ground (a).

22. In order to safeguard the character and appearance of the area I have attached a condition relating to landscaping of the site. To ensure the satisfactory drainage of the site it is necessary to control details of the disposal of foul and surface water. I have also attached a condition to restrict the use of the building.

### **Appeal A on grounds (f) and (g)**

23. It is unnecessary for me to consider whether the appeal on grounds (f) and (g) should succeed, as the enforcement Notice will be quashed in consequence of my decision to allow Appeal A on ground (a). I shall therefore take no further action on these grounds of appeal.

### **Appeal B**

24. The provisions of the GPDO require the local planning authority to assess the proposed development on the basis of the siting, design and external appearance of the building. That is the basis on which I will determine the current appeal and therefore, in the light of the above, the main issues are:
- i. Whether the proposal would conflict with one of the reasons for including the land within the Green Belt; and
  - ii. The effect on the character and appearance of the Special Landscape Area.

#### *Reasons*

##### *Green Belt purposes*

25. The appeal site is located in the Green Belt and therefore the starting point in terms of policy is the Framework and the UDP. An agricultural building is not inappropriate development in the Green Belt. Therefore, as the effect of development on the openness and the purpose of including land within the Green Belt are not expressly stated as determinative factors in assessing inappropriateness for buildings for agriculture and forestry, there is no need for me to separately assess the effect of the development on the openness of the Green Belt or the purposes of including land within it.
26. Therefore, on this issue I conclude that the proposal would not conflict with the reasons for including the land within the Green Belt and there is no conflict with the Framework and Policy OL1/2 of the UDP.

##### *Character and appearance of the Special Landscape Area*

27. The proposed building would be located in a field which is part of a relatively steeply sloping hillside. There is a modern agricultural building to the west of the site which is the subject to appeal reference APP/T4210/C/18/3195131 and to the south, at a lower level, are other agricultural buildings. The wider landscape is characterised by scattered farmsteads with some groups of residential properties.
28. The proposed building would be a substantial structure measuring approximately 40 metres by 13.7 metres with an overall ridge height of approximately 8.3 metres and an eaves height of approximately 6.9 metres. The building would have a green corrugated steel roof and pre-cast concrete slab walls. The only opening would be in the east facing elevation. It is my

understanding that the proposal also includes a hardstanding area and new access track, but these elements of the scheme do not appear to be the subject of the Council's refusal.

29. I am aware that planning permission has been previously granted on appeal for the erection of a silage building on the same site; however, the current proposal is higher than that scheme which showed a ridge height of approximately 5.35 metres and an eaves height of approximately 3.8 metres. Therefore, in determining the current appeal a key consideration is the effect of the additional height, scale and massing of the proposal in the context of the sensitive landscape setting.
30. The building would be a large structure constructed of materials that are acceptable for an agricultural building of this type. The scale, mass and bulk of the building, when combined with its elevated position, means that it would be a significant visual feature within the surrounding landscape. However, from most viewpoints, locally, including roads and footpaths the building would be seen in the context of the existing agricultural buildings that form part of the larger farmstead. Consequently, I do not consider that it would be seen as a new isolated building, but rather part of the group of agricultural buildings and as such it would not be an incongruous or unacceptably visually intrusive feature in the landscape.
31. I also observed at my site inspection that many of the houses in the area do not face directly towards the site and from those that do, there are other buildings, landscaping and topographical features that would largely screen the building from view. I can see that it would be visible from some properties which face onto Bamford Road, but from those it would be seen largely in the context of the other agricultural buildings.
32. I can understand that some would not describe the local agricultural buildings as being particularly attractive, but they are typical farm buildings and ones which can reasonably expect to be found in a location such as this, including in an area of Special Landscape Value or the Green Belt. Consequently, I do not find that the building would be harmful to the rural character of the area.
33. I have also taken account of the fact that prior approval has previously been granted for an agricultural building for silage on the appeal site. I acknowledge that the current proposal is for a larger building, but I do not find that the additional bulk, scale and massing would be significant in terms of the impact on the character and appearance of the surrounding area.
34. Therefore, on this issue, the proposal would not be harmful to the character and appearance of the Special Landscape Area. As a result, I find there to be no conflict with Policies OL1/2 and EN1/1 of the UDP and the SPD. These seek to ensure that developments are of a high standard of design and do not have a detrimental effect on the visual amenity and relate well to existing buildings.

*Other matters*

35. I am aware of there being some local opposition to the proposal. The proposal would be visible from some properties, but I do not consider the building would be unduly harmful with respect to the outlook from these properties.
36. I am aware that silage may produce an odour which some may find unpleasant, but the building would be mostly enclosed with there only being

one opening in the east elevation, which does not directly face properties. In addition, I noted at my site visit that a large number of animals are housed in nearby agricultural buildings at certain times of the year. As such there are likely to be agricultural odours in this rural setting. There is insufficient evidence before me to establish that the odours likely to emanate from the use of the building for storing silage would lead to unacceptable levels of odour above and beyond those that are likely to be reasonably experienced in rural areas. In any case this is not a matter before me in dealing with this particular type of appeal.

37. I am also aware that some concern has been expressed with reference to the effect of the development on house prices. However, it is a well-established principle that the planning system does not exist to protect private interests such as the value of land or property.
38. In terms of the living conditions, some concern has been expressed regarding the effect on light and highways safety. These are not matters before me in dealing with a prior approval appeal.

#### *Conclusion*

39. For the reasons given above and taking account of other matters raised I conclude that the appeal should be allowed.
40. In granting approval the appellant should note that the GPDO states at paragraph A.2 of Schedule 2, Part 6, Class A that the development must be carried out within a period of 5 years from the date on which the local planning authority were given the information referred to in paragraph (d)(ii) of paragraph A.2 (2).

### **Formal Decisions**

#### **Appeal A**

41. The enforcement notice is quashed and planning permission is granted for the application deemed to have been made under section 177(5) of the Act as amended for the development already carried out, namely the erection of an agricultural building subject to the following conditions:
  1. Unless within 2 months of the date of this decision a landscaping scheme, including an implementation programme, and details of the foul and surface water drainage and any storage tank for the storage of slurry, if necessary are submitted in writing to the local planning authority for approval, and unless the approved scheme is implemented within 60 days of the local planning authority's approval, the agricultural building hereby permitted shall be removed and the land restored to its condition prior to the construction of the building. The landscaping scheme shall include boundary treatments, planting plans, written specifications (including soil depths, cultivation and other operations associated with plant and grass establishment), and scheduling of plants noting species, planting sizes and proposed numbers and densities.

If no schemes in accordance with this condition are approved within 4 months of the date of this decision, the agricultural building hereby permitted shall be removed and the land restored to its condition prior to the construction of the building.

The landscaping works shall be carried out in accordance with the approved details, and with the agreed implementation programme. The completed soft landscaping scheme shall be maintained for a period of 5 years from the date of planting. During this period any trees or shrubs which die, or are damaged, removed or seriously diseased shall be replaced by trees or shrubs of a similar size and species to those originally planted. Upon implementation of the approved schemes specified in this condition, those schemes shall thereafter be retained.

In the event of a legal challenge to this decision, or to a decision made pursuant to the procedure set out in this condition, the operation of the time limits specified in this condition will be suspended until that legal challenge has been finally determined.

2. The agricultural building hereby approved shall not be used for the keeping of animals without any written prior approval of the local planning authority.

### **Appeal B**

42. The appeal is allowed and approval is granted under the provisions of Schedule 2, Part 6, Class A of the Town and Country Planning (General Permitted Development) Order 2015 for the erection of an agricultural building for the storage of silage at land at Twine Valley Farm, Church Road, Shuttleworth, Ramsbottom, Bury BLO OEH in accordance with the terms of the application Ref 62677, dated 6 April 2018, and the plans submitted with it.

*A A Phillips*

INSPECTOR



---

## Appeal Decision

Site visit made on 2 October 2018

**by W Johnson BA (Hons) DipTP DipUDR MRTPI**

an Inspector appointed by the Secretary of State

Decision date: 11 February 2019

---

**Appeal Ref: APP/T4210/W/18/3208242**

**Unit 1-3, Goodlad Street, Bury BL8 1SX**

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
  - The appeal is made by Mr Andy Dempsey, Fenster Trade Frames against the decision of Bury Metropolitan Borough Council.
  - The application Ref 62837, dated 22 May 2018, was refused by notice dated 5 July 2018.
  - The development is the placement of palisade fencing and gate along part of the boundary to the site.
- 

### Decision

1. The appeal is dismissed.

### Procedural Matters

2. The Revised National Planning Policy Framework (the Framework) was published in July 2018, after the appeal was lodged. I have had regard to the Revised Framework in reaching my decision.
3. At the time of my site visit, I saw that the boundary fencing was installed, and thus I have had the benefit of seeing the scheme in place. It also is for this reason I have expressed the description of development as I have above. My use of the description in this way does not fundamentally change the scheme before me or each party's case in relation to it. I have proceeded on this basis.

### Main Issues

4. The main issues are the effect of the proposal on highway safety; and, the character and appearance the area.

### Reasons

#### *Highway Safety*

5. The appeal site is in an area of mixed commercial and residential uses. It is an irregular shaped parcel of land, which is hard surfaced and enclosed by galvanised steel palisade fencing. The fencing surrounds the car park/yard area of the premises and extends along part of the boundaries with Goodlad Street and Back Byrom Street. It faces the front elevations of residential properties on the former and rear elevations on the latter. The majority of the appeal site abuts other commercial uses.
6. During my site visit I noted the original access to the property from Goodlad Street, which is situated in close proximity to the building and in turn the first

set of large steel doors on the elevation. At this point there are lowered vehicular crossing points in the pavement. The palisade fencing on this section of the boundary extends from the building, across the original access, and along majority of the boundary with the adjoining footpath, until it is then chamfered to the fencing that has been erected on the boundary with Back Byrom Street. This has now resulted in the car park/yard being fully enclosed, and the access being relocated to the chamfered section, which crosses part of the footpath on Goodlad Street.

7. Whilst the semi permeable nature of the fencing allows some views through it, at 2.4 metres in height and of a substantial length it is nevertheless restrictive on views out of the access point, accordingly limiting visibility for exiting vehicles, particularly in relation to being able to see vehicles travellers from the Tottington Road direction.
8. Also during my site visit I observed a significant amount of on street car parking on Goodlad Street in the area outside the gates to the appeal property. This further restricts visibility and manoeuvrability for emerging vehicles, especially larger ones.
9. With the above in mind, the scheme unacceptably harms highway safety with particular regard to the existing access to the site and the available visibility therefrom. This would result in conflict with the requirements of 'Saved' Policy HT6/2 of the UDP<sup>1</sup>, which seeks, amongst other things, to reduce pedestrian/vehicular conflict. The proposal would also be contrary to paragraph 108 b) of the Framework, which, amongst other things, seeks that safe and suitable access to the site can be achieved for all users.
10. The appellant states that the fence is required in the interests of security, health and safety, and improving the operation of the business. Whilst this clearly forms an important consideration for the appellant, it does not outweigh the harm of the proposal in terms of highway safety. I have noted the suggested condition by the appellant in their statement relating to the submission of additional details but, I consider that this would not be a suitable approach in this instance as I have concerns that the suggested condition would not pass the test of enforceability having regard to Planning Practice Guidance.

#### *Character and Appearance*

11. The area surrounding the appeal site is defined by buildings adjoining the footpath. These buildings are in the form of the brick commercial building associated with the appeal site, and terraced dwellings on the opposite side of the road that are primarily constructed out of stone and brick. However, in some instances the brick dwellings have been rendered. Additionally, the boundary treatments to the rear yards of the terraced dwellings located on Byrom Street facing Back Byrom Street comprise brick or block walls, and timber panel fencing, amongst other things. The car park/yard provides an important open area, which provides some relief amongst the narrow streets and dense built environment.
12. In my view, the fencing significantly detracts from the character and visual qualities of the streetscene. The introduction of high sided palisade fencing in

---

<sup>1</sup> Bury Unitary Development Plan 1997

this location has formed an incongruous feature, which is significantly at odds with the character and appearance of its surroundings. I note that the appellant has suggested that they are willing to consider a reduction in height, so far as it still provides security for the premises. However, I do not believe that such a measure would provide sufficient mitigation to overcome its overall harmful visual effect, as any reduction would only be minimal if it was to be effective for security purposes, and would therefore still have a stark and imposing appearance when measured against the other types and heights of boundary treatment in the area.

13. I conclude that the development has an unacceptably harmful impact upon the character and appearance of the appeal site and the surrounding area. It thus does not comply with Policy EN1/2 of the UDP, which requires development not to have an unacceptable adverse effect on the particular character and townscape of the Borough's towns, villages and other settlements.
14. The development would also conflict with Section 12 of the Framework for achieving well-designed places. In particular paragraph 127 requires development, amongst other things, to add to the overall quality of the area, be visually attractive, and be sympathetic to local character including the surrounding built environment. The development further contradicts the Council's advice within Guidance Note 16, Design and Layout of New Development in Bury 2008, which requires a need for attractive development that is fit-for-purpose.

### **Other Matters**

15. The appellant has indicated that there are no objections from neighbouring occupiers, and that he has facilitated some neighbours to park their cars in the yard overnight. However, these factors do not alter my conclusions on the main issues. I have considered this appeal on its own particular merits and concluded that it causes harm and conflicts with the development plan for the reasons set out above.
16. My attention has been drawn to various sites in the locality, many of which I was able to observe on my visit, that have security fencing of some kind. However, whilst recognising that there appear to be some similarities with the appeal scheme, I do not have the full details of those developments or the background to any decisions that permitted them. Moreover, on the limited details available to me, I am not satisfied that the location of the other sites, the relative importance of the fencing in each case or the site specific effect thereof are directly comparable to that of the scheme before me.
17. The appeal site is located in a mixed area of commercial and residential properties with examples of galvanised palisade fencing in existence. This does not mean however that other examples of similar fencing should be allowed. In the examples referenced by the appellant is one of either powder coated or painted paladin style fencing at Oakwood Motor Company, which is a significant improvement visually on the other examples, which consist of galvanised palisade style fencing, similar to that at the appeal site. I recognise that the fencing at the appeal site is relatively new and that the galvanised appearance will darken with age, but this will not be sufficient in itself to reduce its harmful visual effect.

## **Conclusion**

18. For the reasons given above, and having regard to all other matters raised, I therefore conclude that the appeal should be dismissed.

*W Johnson*

INSPECTOR

**Details of Enforcement Appeal Decisions  
between 11/02/2019 and 17/03/2019**



---

**Location:** Twine Valley Farm, Church Road, Shuttleworth, Ramsbottom, Bury, BL0 2FH  
**Case Ref:** 0099 / 16

**Issue:** Agricultural building

**Appeal Decision:** Allowed 23/02/2019

---

**Location:** Land at Lower Kirklees Street, Tottington, Bury, BL8 3NY  
**Case Ref:** 0415 / 17

**Issue:** Creation of a hard-standing access track

**Appeal Decision:** Allowed 07/03/2019

---





---

## Appeal Decisions

Site visit made on 29 January 2019

by **A A Phillips BA(Hons) Dip TP MTP MRTPI**

an Inspector appointed by the Secretary of State for Communities and Local Government

Decision date: 23 February 2019

---

### **Appeal A: APP/T4210/C/18/3195131**

**Twine Valley Farm, Church Road, Shuttleworth, Ramsbottom, Bury BL0  
OEH**

- The appeal is made under section 174 of the Town and Country Planning Act 1990 as amended by the Planning and Compensation Act 1991.
- The appeal is made by Ms J Brown of SR and RJ Brown Ltd against an enforcement notice issued by Bury Metropolitan Borough Council.
- The enforcement notice was issued on 31 January 2018.
- The breach of planning control as alleged in the notice is the erection of an agricultural building.
- The requirements of the notice are demolish and permanently remove the building, including the base and foundations.
- The period for compliance with the requirements is 60 days.
- The appeal is proceeding on the grounds set out in section 174(2) (a), (f) and (g) of the Town and Country Planning Act 1990 as amended.

**Summary of Decision: The appeal is allowed and the enforcement notice is quashed.**

---

### **Appeal B: APP/T4210/W/18/3202305**

**Twine Valley Farm, Church Road, Shuttleworth, Ramsbottom, Bury BL0  
OEH**

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against the refusal to grant prior approval required under Schedule 2, Part 6, Class A of the Town and Country Planning (General Permitted Development) Order 2015.
- The appeal is made by Mr J Brown against the decision of Bury Metropolitan Borough Council.
- The application Ref 62677, dated 6 April 2018 was refused by notice dated 8 May 2018.
- The development proposed is an agricultural building for the storage of silage.

**Summary of Decision: The appeal is allowed.**

---

## Background

1. With respect to Appeal A it is my understanding that there is a deemed consent to carry out an agricultural development which complies with the limitations and conditions of Schedule 2, Part 6, Class A of the Town and Country Planning (General Permitted Development) Order 2015 (the GPDO). The building the subject of the enforcement notice has been built in approximately the same location, but it is a different size and design from that approved. The existing building has been the subject of a planning appeal <sup>1</sup> which was dismissed on 2 September 2016 for reasons relating to noise; however, at the time it was

---

<sup>1</sup> APP/T4210/W/16/3151468

proposed to use the building for housing livestock. The evidence before me, and my own site observations confirms that the building is not being used for housing livestock, but rather is being used for the storage of hay and machinery.

2. With respect to Appeal B I am aware that planning permission for an agricultural building for the storage of silage has previously been granted at the appeal site. That approval was for full planning permission because the footprint of the building was in excess of the limitations set out in the GPDO. I understand that the difference between the approved scheme and the current appeal proposal is that the height of the building is some 3 metres higher which is achieved by lowering the finished floor levels by approximately 1 metre. Consequently, the overall height difference is approximately 2 metres.
3. It is my understanding that an access track to the building is the subject of a separate enforcement investigation.

### **Appeal A on ground (a)**

4. The appeal site is in the Green Belt and therefore the relevant policy context for establishing whether the development is inappropriate development in the Green Belt is paragraph 145 of the National Planning Policy Framework (the Framework) and Policy OL1/2 of the Bury Unitary Development Plan adopted August 1997 (the UDP). The use of the building is for agricultural purposes and this is not a matter of dispute between the main parties. It is important to note here that the Framework sets no specific limits for the scale of such a building and furthermore, as it is one of the exceptions given in paragraph 145 of the Framework, the effects of an agricultural building on the openness of the Green Belt are not relevant in considering whether they are inappropriate.
5. Therefore, for the purposes of the Framework and the UDP the development is not inappropriate development in the Green Belt.
6. Consequently, I consider the main issues to be:
  - i. The effect on the character and appearance of the Special Landscape Area;
  - ii. The effect on the living conditions of the occupants of adjoining residential properties with particular reference to noise; and
  - iii. Whether the development poses an unacceptable risk of ground water contamination.

#### *Character and appearance of the Special Landscape Area*

7. The site is located within a Special Landscape Area and occupies an elevated and prominent within its surroundings. It is elevated above Bamford Road and Church Road and forms part of the local wider open ground of steep hills which is scattered with agricultural buildings. The building is a substantial structure which has an agricultural character and appearance, being constructed of concrete panels with Yorkshire boarding and a corrugated sheeting roof. The building's open side faces onto agricultural land. It is immediately above existing agricultural buildings of similar construction which are situated at a significantly lower level.

8. The building is prominent and as a result of its overall bulk, massing, scale, design and materiality it is a visually intrusive structure within its relatively open and elevated landscape surroundings. It is visible from some nearby areas, including residential properties and it dominates its immediate surroundings. However, the building is screened from some views by existing buildings, landscaping and topography and is seen in the context of other nearby agricultural buildings. Only a few residential properties have windows which directly face the appeal site.
9. I am also aware that there is a proposal which has deemed consent which would have a slightly lower ridge and eaves height and would not include the open side facing onto the agricultural land. It would incorporate similar materials. The visual effects of that building would nevertheless be similar to the existing building which is the subject of the enforcement notice. Indeed, the deemed approval building would have potentially greater impact on the character and appearance of the area because it would not have an open side and corners. From some viewpoints it would be more visually intrusive and harmful to the Special Landscape Area.
10. Therefore, I conclude that the visual effects of the appeal building do not result in more significant harm to the character and appearance of the Special Landscape Area than those of the scheme which benefits from deemed consent. Although there is some conflict with Policies OL4/5, EN1/2 and EN 9/1 of the UDP and the Council's Development Control Policy Guidance Note 8: New Buildings in the Green Belt (January 2007) (the SPD), the conflict I have identified would be outweighed by the lack of significant harm above that of the development which has deemed consent.
11. In coming to this conclusion I have taken account of the fact that the Council disagrees with the conclusions of my colleague Inspector who dealt with the previous appeal for the site <sup>2</sup>with regard to the comparison between the building which has deemed consent and the building which is the subject of the enforcement notice. I understand the difference between dealing with the retention of an unauthorised building and the distinct application for prior approval, but on the grounds that the prior approval could still be implemented I consider it entirely reasonable to take account of the differences between the two.

#### *Living conditions*

12. The building is a limited distance from residential properties; notably those along Church Street and Millhouse Street. The enforcement notice has been issued partly on basis that the building is being used for housing livestock, but at my site visit I noted that it is currently being used to store hay and machinery. In addition, the appellant has suggested that a suitably worded condition could be used to preclude the use of the building to keeping animals. I agree that this is a suitable approach and would mitigate the potential harm to living conditions relating to noise from animals. Should the building be used for keeping animals in the future the Council would be entitled to take appropriate action.

---

<sup>2</sup> APP/T4210/W/16/3151468

13. Therefore, on this issue I conclude that subject the use of a condition, the development would not have a harmful effect on the living conditions of the occupants of adjoining residential properties with particular reference to noise.

*Ground water contamination*

14. I have noted that this issue is identified as a reason for issuing the enforcement notice, but the Council has not provided evidence to support this in its Appeal Statement. There is insufficient evidence before me that any assessment of the risk of ground water contamination has been provided. Although contrary to the provisions of Policies ENV7/4 (Ground Water Protection) and ENV7/5 (Waste Water Management) of the UDP I am satisfied that a suitably worded condition could address the concerns and any conflict with the UDP. Consequently, I do not consider that this matter constitutes a reason to withhold the grant of planning permission in this case.

*Other matters*

15. In coming to my conclusions on this appeal I have had regard to the complex planning history of this and other adjacent sites and am aware of the previous approvals, refusals and investigations undertaken by the local planning authority.
16. Comments have been received with respect to the loss of trees and shrubs as result of the development that has taken place to date. A landscaping scheme, including tree and shrub planting will mitigate the harm that may have been caused by the loss of trees within the appeal site.
17. I have insufficient evidence that the stabilisation of land is requires with respect to the land on which the agricultural building has been erected. During my site visit I observed no obvious signs of the collapse of banking adjacent to the building.
18. The matter that the building has been erected without planning permission is not a reason in itself to dismiss the appeal. The development should be judged against material planning considerations.

*Conclusion and conditions*

19. I have concluded that the development is not inappropriate development in the Green Belt and that it does not result in significant harm to the character and appearance of the Special Landscape Area than the development which has deemed consent. Furthermore, I consider that the lack of evidence regarding ground water contamination could be controlled by a condition. The use of the building can be restricted to ensure it is not used for keeping animals and that approach would mitigate potential harm to living conditions from animal noises.
20. The appeal succeeds on ground (a) and planning permission will be granted.
21. The Council has not suggested conditions, but the appellant has done so. I have taken account of those and where necessary amended them in line with national policy and guidance. Conditions should only be used to enable a development to proceed by mitigating the adverse effects where it would otherwise have been necessary to refuse planning permission by dismissing this appeal on ground (a).

22. In order to safeguard the character and appearance of the area I have attached a condition relating to landscaping of the site. To ensure the satisfactory drainage of the site it is necessary to control details of the disposal of foul and surface water. I have also attached a condition to restrict the use of the building.

### **Appeal A on grounds (f) and (g)**

23. It is unnecessary for me to consider whether the appeal on grounds (f) and (g) should succeed, as the enforcement Notice will be quashed in consequence of my decision to allow Appeal A on ground (a). I shall therefore take no further action on these grounds of appeal.

### **Appeal B**

24. The provisions of the GPDO require the local planning authority to assess the proposed development on the basis of the siting, design and external appearance of the building. That is the basis on which I will determine the current appeal and therefore, in the light of the above, the main issues are:
- i. Whether the proposal would conflict with one of the reasons for including the land within the Green Belt; and
  - ii. The effect on the character and appearance of the Special Landscape Area.

#### *Reasons*

##### *Green Belt purposes*

25. The appeal site is located in the Green Belt and therefore the starting point in terms of policy is the Framework and the UDP. An agricultural building is not inappropriate development in the Green Belt. Therefore, as the effect of development on the openness and the purpose of including land within the Green Belt are not expressly stated as determinative factors in assessing inappropriateness for buildings for agriculture and forestry, there is no need for me to separately assess the effect of the development on the openness of the Green Belt or the purposes of including land within it.
26. Therefore, on this issue I conclude that the proposal would not conflict with the reasons for including the land within the Green Belt and there is no conflict with the Framework and Policy OL1/2 of the UDP.

##### *Character and appearance of the Special Landscape Area*

27. The proposed building would be located in a field which is part of a relatively steeply sloping hillside. There is a modern agricultural building to the west of the site which is the subject to appeal reference APP/T4210/C/18/3195131 and to the south, at a lower level, are other agricultural buildings. The wider landscape is characterised by scattered farmsteads with some groups of residential properties.
28. The proposed building would be a substantial structure measuring approximately 40 metres by 13.7 metres with an overall ridge height of approximately 8.3 metres and an eaves height of approximately 6.9 metres. The building would have a green corrugated steel roof and pre-cast concrete slab walls. The only opening would be in the east facing elevation. It is my



understanding that the proposal also includes a hardstanding area and new access track, but these elements of the scheme do not appear to be the subject of the Council's refusal.

29. I am aware that planning permission has been previously granted on appeal for the erection of a silage building on the same site; however, the current proposal is higher than that scheme which showed a ridge height of approximately 5.35 metres and an eaves height of approximately 3.8 metres. Therefore, in determining the current appeal a key consideration is the effect of the additional height, scale and massing of the proposal in the context of the sensitive landscape setting.
30. The building would be a large structure constructed of materials that are acceptable for an agricultural building of this type. The scale, mass and bulk of the building, when combined with its elevated position, means that it would be a significant visual feature within the surrounding landscape. However, from most viewpoints, locally, including roads and footpaths the building would be seen in the context of the existing agricultural buildings that form part of the larger farmstead. Consequently, I do not consider that it would be seen as a new isolated building, but rather part of the group of agricultural buildings and as such it would not be an incongruous or unacceptably visually intrusive feature in the landscape.
31. I also observed at my site inspection that many of the houses in the area do not face directly towards the site and from those that do, there are other buildings, landscaping and topographical features that would largely screen the building from view. I can see that it would be visible from some properties which face onto Bamford Road, but from those it would be seen largely in the context of the other agricultural buildings.
32. I can understand that some would not describe the local agricultural buildings as being particularly attractive, but they are typical farm buildings and ones which can reasonably expect to be found in a location such as this, including in an area of Special Landscape Value or the Green Belt. Consequently, I do not find that the building would be harmful to the rural character of the area.
33. I have also taken account of the fact that prior approval has previously been granted for an agricultural building for silage on the appeal site. I acknowledge that the current proposal is for a larger building, but I do not find that the additional bulk, scale and massing would be significant in terms of the impact on the character and appearance of the surrounding area.
34. Therefore, on this issue, the proposal would not be harmful to the character and appearance of the Special Landscape Area. As a result, I find there to be no conflict with Policies OL1/2 and EN1/1 of the UDP and the SPD. These seek to ensure that developments are of a high standard of design and do not have a detrimental effect on the visual amenity and relate well to existing buildings.

*Other matters*

35. I am aware of there being some local opposition to the proposal. The proposal would be visible from some properties, but I do not consider the building would be unduly harmful with respect to the outlook from these properties.
36. I am aware that silage may produce an odour which some may find unpleasant, but the building would be mostly enclosed with there only being

one opening in the east elevation, which does not directly face properties. In addition, I noted at my site visit that a large number of animals are housed in nearby agricultural buildings at certain times of the year. As such there are likely to be agricultural odours in this rural setting. There is insufficient evidence before me to establish that the odours likely to emanate from the use of the building for storing silage would lead to unacceptable levels of odour above and beyond those that are likely to be reasonably experienced in rural areas. In any case this is not a matter before me in dealing with this particular type of appeal.

37. I am also aware that some concern has been expressed with reference to the effect of the development on house prices. However, it is a well-established principle that the planning system does not exist to protect private interests such as the value of land or property.
38. In terms of the living conditions, some concern has been expressed regarding the effect on light and highways safety. These are not matters before me in dealing with a prior approval appeal.

#### *Conclusion*

39. For the reasons given above and taking account of other matters raised I conclude that the appeal should be allowed.
40. In granting approval the appellant should note that the GPDO states at paragraph A.2 of Schedule 2, Part 6, Class A that the development must be carried out within a period of 5 years from the date on which the local planning authority were given the information referred to in paragraph (d)(ii) of paragraph A.2 (2).

### **Formal Decisions**

#### **Appeal A**

41. The enforcement notice is quashed and planning permission is granted for the application deemed to have been made under section 177(5) of the Act as amended for the development already carried out, namely the erection of an agricultural building subject to the following conditions:
  1. Unless within 2 months of the date of this decision a landscaping scheme, including an implementation programme, and details of the foul and surface water drainage and any storage tank for the storage of slurry, if necessary are submitted in writing to the local planning authority for approval, and unless the approved scheme is implemented within 60 days of the local planning authority's approval, the agricultural building hereby permitted shall be removed and the land restored to its condition prior to the construction of the building. The landscaping scheme shall include boundary treatments, planting plans, written specifications (including soil depths, cultivation and other operations associated with plant and grass establishment), and scheduling of plants noting species, planting sizes and proposed numbers and densities.

If no schemes in accordance with this condition are approved within 4 months of the date of this decision, the agricultural building hereby permitted shall be removed and the land restored to its condition prior to the construction of the building.

The landscaping works shall be carried out in accordance with the approved details, and with the agreed implementation programme. The completed soft landscaping scheme shall be maintained for a period of 5 years from the date of planting. During this period any trees or shrubs which die, or are damaged, removed or seriously diseased shall be replaced by trees or shrubs of a similar size and species to those originally planted. Upon implementation of the approved schemes specified in this condition, those schemes shall thereafter be retained.

In the event of a legal challenge to this decision, or to a decision made pursuant to the procedure set out in this condition, the operation of the time limits specified in this condition will be suspended until that legal challenge has been finally determined.

2. The agricultural building hereby approved shall not be used for the keeping of animals without any written prior approval of the local planning authority.

### **Appeal B**

42. The appeal is allowed and approval is granted under the provisions of Schedule 2, Part 6, Class A of the Town and Country Planning (General Permitted Development) Order 2015 for the erection of an agricultural building for the storage of silage at land at Twine Valley Farm, Church Road, Shuttleworth, Ramsbottom, Bury BLO OEH in accordance with the terms of the application Ref 62677, dated 6 April 2018, and the plans submitted with it.

*A A Phillips*

INSPECTOR



---

## Appeal Decision

Site visit made on 29 January 2019

by **A A Phillips BA(Hons) DipTP MTP MRTPI**

an Inspector appointed by the Secretary of State

Decision date: 21 February 2019

---

**Appeal Ref: APP/T4210/C/18/3205657**

**Land and property at Kirklees Street, Tottington BL8 3NY**

- The appeal is made under section 174 of the Town and Country Planning Act 1990 as amended by the Planning and Compensation Act 1991.
- The appeal is made by Mr Jason Briggs against an enforcement notice issued by Bury Metropolitan Borough Council.
- The enforcement notice was issued on 5 June 2018.
- The breach of planning control as alleged in the notice is an engineering operation consisting of the creation of a vehicular access by the importation of bricks, rubble and other material to create a hard-surface access track.
- The requirements of the notice are
  - a) Permanently remove the hard-surface access track from the site including the base material.
  - b) Return the land to its condition prior to the engineering works taking place by re-grading the mounds of earth/top soil material stockpiled on the land which were created as part of the construction of the access track.
- The period for compliance with the requirements is:
  - 1) To complete step (a) above – 60 days.
  - 2) To complete step (b) above – 60 days.Total time for compliance – 60 days.
- The appeal is proceeding on the grounds set out in section 174(2) (a), (c), (f) and (g) of the Town and Country Planning Act 1990 as amended.

**Summary of Decision: The appeal is allowed and the enforcement notice is quashed.**

---

### The appeal on ground (c)

1. The ground of appeal is that the matter alleged does not constitute a breach of planning control. The engineering operation to create the access constitutes development within the meaning of s55 of the Act for which planning permission is required. I understand that no express planning permission has been granted by the Council for the development.
2. Class A of Schedule 2, Part 10 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (the GPDO) which relates to "Repairs to services" states that *"The carrying out of any works for the purposes of inspecting, repairing or renewing any sewer, main, pipe, cable or other apparatus, including breaking open any land for that purpose"* is permitted development.
3. The permission granted by the GPDO is only for repairs to services and it does not therefore permit the carrying out of works for the installation of service, which would include the over ground apparatus and housing unit which has been installed on the land the subject of the enforcement notice. The Council

contends that the services, over ground apparatus and housing unit were carried out after the engineering operations the subject of the enforcement notice took place. Consequently, the Council does not consider that the appellant can rely on Part 10, Class A to provide the deemed consent required. I have noted that in support of this argument, the Council has provided little evidence.

4. I agree that permitted development rights cannot be applied retrospectively; however, the appellant clearly states that it is not the case that the services, including water pipes and power supplies have been provided after the provision of the hard-surface access. Comments received from interested parties also indicate to me that the services were laid prior to the creation of the access and there is insufficient evidence to support the Council's position that the services were installed after the creation of the access track.
5. It is my understanding that the appeal site forms part of a larger site which includes stables and a residential caravan. The appellant has confirmed that there have been stables on the land for many years and the residential caravan has also been on the site for very many years and contends that the services were installed some time ago to service these. This seems to me to be a reasonable argument as I can see that stables and a residential caravan can reasonably expect to be serviced with electricity and water.
6. The Council has also referred to Article 3(5) of the GPDO which states that the permission granted by Schedule 2 of the Order does not apply if "*in the case of permission granted in connection with an existing building, the building operations involved in the construction of that building are unlawful*". The Council argues that the service inspection house requires planning permission as a building which does not benefit from permitted development rights. Irrespective of whether or not the inspection house requires planning permission, the appellant would still be entitled to inspect, repair or renew the services on the land with or without the inspection housing being present. In that regard the presence or otherwise of the inspection housing is not directly relevant to the determination of whether the access is permitted development.
7. Therefore, I conclude that having taken account of the evidence before me the development the subject of the enforcement notice is permitted by virtue of the provisions of Class A of Schedule 2, Part 10 of the GPDO as the carrying out of any works for the purposes of inspecting, repairing or renewing services.
8. The appellant and the Council also disagree as to whether the development is permitted under the provisions of Part 2, Class B of the GPDO which relates to the formation, laying out and construction of a means of access to a highway which is not a trunk road or classified road. However, in these circumstances where I have concluded that the development the subject of the enforcement notice is permitted development, I do not need to conclude against any other Part of the GPDO.

## Conclusion

9. For the reasons given above I conclude that the appeal should succeed on ground (c). Accordingly, the enforcement notice will be quashed. In these circumstances the appeal under grounds (a), (f) and (g) of section 174(2) to the 1990 Act as amended and the application for planning permission deemed



to have been made under section 177(5) if the 1990 Act as amended do not need to be considered.

**Formal Decision**

10. The appeal is allowed and the enforcement notice is quashed.

*A A Phillips*

INSPECTOR

This page is intentionally left blank

# REPORT FOR DECISION



<b>Agenda Item</b>	<b>07)a</b>
--------------------	-------------

<b>DECISION OF:</b>	<b>PLANNING CONTROL COMMITTEE</b>
<b>DATE:</b>	<b>26 MARCH 2019</b>
<b>SUBJECT:</b>	<b>REVIEW OF BURY TOWN CENTRE CONSERVATION AREA PLAN</b>
<b>REPORT FROM:</b>	<b>DEVELOPMENT MANAGER</b>
<b>CONTACT OFFICER:</b>	<b>Mick Nightingale</b>
<b>TYPE OF DECISION:</b>	<b>COUNCIL</b>
<b>FREEDOM OF INFORMATION/STATUS:</b>	This paper is within the public domain
<b>SUMMARY:</b>	Most conservation areas have an appraisal and management plan. These are now up to 14 years old. This report outlines a mini-review of the 2007 plan for the Bury Town Centre Conservation Area and the recommendations put forward for the area's preservation and enhancement.
<b>OPTIONS &amp; RECOMMENDED OPTION</b>	The Committee is recommended to approve in principle the actions in the report.
<b>IMPLICATIONS:</b>	
<b>Corporate Aims/Policy Framework:</b>	Do the proposals accord with the Policy Framework? N/A
<b>Statement by the S151 Officer: Financial Implications and Risk Considerations:</b>	Executive Director of Resources to advise regarding risk management N/A
<b>Statement by Executive Director of Resources:</b>	N/A
<b>Equality/Diversity implications:</b>	N/A
<b>Considered by Monitoring Officer:</b>	N/A
<b>Wards Affected:</b>	ALL
<b>Scrutiny Interest:</b>	N/A

**TRACKING/PROCESS****DIRECTOR:**

Chief Executive/ Strategic Leadership Team	Executive Member/Chair	Ward Members	Partners
Scrutiny Committee	Committee	Council	

---

**1.0 Background**

Bury Council as the local planning authority has a statutory duty to preserve and enhance the character of its conservation areas. This should be done in line with the guidance in the National Planning Policy Framework 2019 and the Council's own local planning policies. An understanding of the significance of each conservation area is central to these responsibilities.

From 2004 to 2011 Bury Council produced conservation area appraisals and management plans for 10 of its 12 conservation areas with the aim of better preserving and enhancing their character. The plans were the subject of consultation and Council approval and full details now appear on the Council's website. The plan for Bury Town Centre was approved in 2007.

Historic England, the primary heritage advisory body in England, and other heritage bodies, recommend that appraisals and plans are regularly reviewed and updated. In the intervening 14 years since the first plans were published there have also been changes to national conservation guidance the most recent being the National Planning Policy Framework 2019. In this context, it has been decided to undertake a quick review all of the conservation area appraisals/action plans.

This report covers a mini-review of Bury Town Centre Conservation Area. It contains a summary of the main review report which is attached to this report. This is supported by an appendix of photographs.

Two other committee reports have also been prepared, one for Ramsbottom and one for the remaining 10 Conservation Areas. Each conservation area review is a stand-alone document.

**2.0 Summary of Review**

This review considers the heritage significance of the area and outlines what has happened since the original 2007 plan was approved, and discusses the way forward on a number of fronts.

**Area Significance**

Much of what was written about the heritage significance of the area in 2007 still applies. This was covered under part 4 of the 2007 plan, considering area character, significant buildings, public areas, architectural features and green spaces. The heritage significance of these areas remains, and justifies their continued protection. Although there has been some further decline in area

character, the conclusion in the report about the architectural and historical significance of the area remains the same. The threats to future conservation are outlined below.

One issue that has not been previously considered is the visitor's perception and understanding of the town centre, and that part within the conservation area. Generally, the layout of the town centre is legible and easily understood. It is not a complicated street pattern that is difficult to negotiate. The various parts of the centre, the market, the Rock, Market Place and surrounding streets, and The Millgate and the interchange fit well together. Clearly, views and vistas are important to this and there are key visual linkages, say from Market Place to the interchange, to the new Rock development, and out along Bolton Street. Views into and out of the town centre can help to orientate people and the centre's enclosure largely within the inner ring road helps to define it. The scale of the centre is also important, being fairly compact, even with the building of the new shopping area along The Rock to the east. Also building heights away from the new Rock are quite low, allowing key landmarks to be seen. All this is part of the area's significance that should be protected. Part of the centre's success may be due to these characteristics as well as the facilities that are provided. It is therefore important that the street pattern and building heights are respected within the conservation area.

### **Changes Between 2007 and 2019**

The 2007 Management Plan/Action Plan part of the appraisal considered key issues for the area and how to accommodate change. It put forward a number of policies and recommendations. Any changes in the area can be reviewed in the context of these factors, which are not in any particular order.

#### **Issues**

1. In 2007 there was concern over changes to building details, including windows and doors, and architectural features.

This problem still persists and the visual damage has increased since 2007. Many of the changes have not been authorised through the planning process. This is a problem that combines with the shop front issue described below and which is having a gradual but serious impact on certain parts of the conservation area and the quality of the town centre.

2. Within the conservation area there are good examples of original and reproduction shop fronts which maintain the character of the historic centre (8-12 Bolton Street, for example), but some good buildings are spoilt by crude shop front signage and fascias. 14-16 Market Street (WDC Estates and Nationwide Building Society), 8-10 Market Place (BSM), 17 Broad Street and 13-21 The Rock are some of the more obvious examples (2007).

This problem has grown since 2007. The issue is not now just about individual frontages but large groups and terraces. These alterations are made worse by the more recent trend for banners fixed to buildings and in upper floor windows and walls, and to railings and boundary walls. The worst areas are 34 to 44 The Haymarket, parts of The Rock and 11 to 23 Bolton Street. Some parts of the area have remained largely unscathed. These are Silver Street/Manchester Road and The Market Place, where the presence of listed buildings has helped control change. The worst recent unauthorised alteration is the former George Hotel, which has had every opening on the front elevation altered in some form. Many of these changes have been unauthorised and the scale of change suggests an attitude that owners can do what they wish without the need for permission. This particularly applies to the increase in out of character fascias and signage. The alteration of frontages is the single greatest threat to the appearance and quality of the town centre. Some of the changes have involved replacing existing modern shop fronts and signage in C20 buildings,



where it is possibly thought that change has less impact on area character or do not require permission. This issue requires a policy review and new approach.

In addition to enforcement where permission has not been sought, there are some options that the Council can consider in attempting to combat the advertisement/signage issue. Some adverts have deemed consent, and this can be restricted within an area with the approval of the Secretary of State. Discontinuance action can also be taken in particular cases and for particular sites. The Council could also apply for an Area of Special Control to enforce a stricter regime of advert control and this allows some adverts to be removed after a certain period. All these options have processes and regulations to be followed and will require consultation, justification and review. If there is a wish to act then this area requires further detailed investigation.

3. Roller shutters have also been installed on a few historic shop fronts, including 17 Broad Street. Although this is rare, it is all the more obvious because of the small number of original shop fronts in Bury town centre.

There have been some additional roller shutters installed since 2007. These do have a negative impact on the appearance of streets. The majority of the shutters are found on Bolton Street, parts of The Rock and Broad Street. External roller shutters are harmful to the character of streets and should continue to be resisted.

4. In 2007 it was found that few buildings in Bury conservation area are entirely empty and at risk of neglect. Exceptions include the fine former post office building on Crompton Street and the listed Art Picture House on Haymarket Street.

Since 2007 there have also been positive changes that have reinforced the special character of the area. The HLF has supported three projects (1) the establishment of the Fusiliers Museum and Tourist Information Office in the former Technical College and School of Art on Broad Street, and (2) the upgrading of the Bury Transport Museum north of Bolton Street. The Fusiliers Museum involved a modern extension facing Silver Street and the relocation of the Lutyens War Memorial into what is now an upgraded Gallipoli Gardens. More recently HLF money has supported (3) the upgrading of the MET theatre on Market Street. The Clarence PH, the Art Cinema, the Raynors PH and the old post office have been restored and brought back into full use. Consequently, the town centre's visitor appeal may have increased.

The opening of the new Rock development to the immediate east of the town centre in 2010 did have a short term negative impact on the vacancy rate within the conservation area. Some users, like Barclays Bank, did move to the new development. The new Rock also had a short term negative impact on the Millgate Centre. Fortunately, for both the Millgate and the conservation area the buoyancy of the town centre overall has meant that ground floor units in the west of the town centre are mostly full, though some uses such as charity shops concentrated in certain areas may suggest an unstable situation.

5. A more widespread issue in 2007 was the under-use of the upper storeys of many historic buildings in the town centre. Under-use can lead to neglect and falling property values, making the buildings' future vulnerable. Affected listed buildings include number 1 The Rock and 8-10 Market Place, and buildings of historic merit such as 16 Bolton Street, Castle Buildings and parts of Derby Chambers on The Rock.

This remains to be a serious problem in many parts of the area and one that has not so far been addressed by any of the stakeholders. Most of the conservation area is affected by this issue and some buildings have been totally empty for some time.

6. Prior to 2007 the town centre had benefited from publicly-funded schemes of enhancement work to the public realm and to individual properties, part-funded by English Heritage and the Heritage Lottery Fund. However the 2007 plan found that further work was required to improve the public realm, highways and street furniture.

The public realm is now beginning to look very tired and outworn. Areas previously improved via grant aid are also in decline. This is impacting on the quality and appearance of the town centre overall. There is a clear comparison between the quality of the external areas and maintenance in The Rock development with the poor relation in the rest of the town centre. The paved area to the east of Kay Gardens continues to deteriorate and although Kay Gardens itself has had a number of facelifts it does not provide the welcoming, open and usable open space that it could. The condition and appearance of some back streets and back land only adds to the problem.

### **3.0 Discussion/Recommendations**

Heritage England considers the conservation area to be at risk of further serious decline. The Council should respond positively to the situation and consider what opportunities exist to reverse the decline.

The 2007 report made a range of recommendations and these can be seen in the attached extract from the management plan. Funding difficulties on a number of fronts have made progress difficult.

The west of the town centre has so far survived the success of the new Rock development. For the conservation area, this is probably due to the variety of functions within its boundary. On a small scale it is a commercial, cultural and civic hub, a tourist attraction, a food and evening destination and part of the shopping centre. There have been successes within the area through private investment, the re-opening of the post office, the Art PH, the Clarence and Raynors PHs, and through grant aid supporting the East Lancs Railway, the Fusiliers Museum and the MET. There has also been an uptake in frontage space along Bolton Street since 2007, possibly reflecting lower rates/rentals in this area. This mix of functions does appear to support some success, but at present this has been achieved possibly via a number of happy coincidences and individual projects rather than as part of a planned strategy with targeted objectives and programmes.

The 2007 report outlined the need for a vision and strategy to address the negative issues and to develop the remaining potential. Dramatically reducing resources has become a significant issue for Bury Council since the 2007 report and it is not surprising that such a strategy has not been seen as a priority. However, by investing in officer time and some funding, opportunities might be unlocked. The current issues might be addressed in part by developing a project for both external funding support and proactive development management, all based on a broad strategy and vision.

Heritage Lottery Funding is available for a wide range of projects. The current nationwide HLF Townscape Heritage Project has come to a close but a new strategic framework and programme is to be established from 2019 onwards. The detail of the new programme was revealed on the 31 January 2019. Its main aims will be to achieve greater diversity, inclusion and wellbeing in the context of a single national heritage programme with decisions on projects of up to £5m devolved to the regions. Decisions will be based on regional priorities with re-set objectives and required outcomes. It is expected that it will still target the upgrading of shop terraces in conservation areas, including the release of unused floor space, and associated public realm improvements. This type of project could address some of the negative issues outlined earlier in this report.

The Council did submit an expression of interest enquiry to the HLF in summer 2017, based on options for shop front, floor space and public realm improvements. HLF officers visited and advised on the future programmes and what the Council would need to do to produce a credible application. The production of this conservation area action plan review was one such action, but others included extensive dialogue with stakeholders and the community, and building a project that would achieve outcomes for heritage, education, diversity, and community development. Advice also covered the scale of the project with comment about the potential benefit of including some terraces currently outside the conservation area boundary. These could only be included within a HLF project if they were part of the conservation area. The area boundary is assessed separately below and there is a strong case for the extension of the conservation area based on heritage criteria. However, a HLF project would require initial financial support from the Council for the preparation of proposals and a future contribution towards the cost of future capital works. Also, the scale of work and commitment required to produce a successful HLF scheme should not be underestimated.

Many issues raised in 2007 and 2019 are associated with change to commercial frontages and land. Small individual changes can accumulate into harmful trends. Changes to shop fronts, roller shutters, flues etc can be controlled through the planning process. Problems have arisen when work on site is undertaken without permission. There is a need for the Council to support both greater information and guidance for business and for quick and effective enforcement when unauthorised work is undertaken. Advertising on commercial premises has been harmful to the character of the area. Some advert types have deemed consent (requiring no formal permission from the Council) and others have been erected without permission. The potential additional powers and actions to combat the damage of poorly designed fascias and a range of signs and adverts has been outlined above.

### **Other Related Initiatives and Projects**

The 2007 report did not consider the future of the bus/Metrolink interchange. The interchange was opened in 1980 and consideration is now being given to its redevelopment to meet modern day transport needs. The interchange sits immediately to the south of the conservation area and shares its northern and western boundary with the conservation area. It is also within the setting of listed buildings and buildings on the current draft local list. Its redevelopment will have the potential to impact upon the significance of the conservation area, the setting of historic buildings and important town centre views. The current site is made up of the Metrolink station at a lower level and glazed ground level walkways serving the bus stops and a central 2/3 storey glazed office. There are large areas of carriageway within the site and a car park to the south which abuts the inner ring road. The site is generally low lying, has minimum impact on the townscape of the centre and its appearance is very much of 1970s design. Its location is ideal for visitors to the Millgate Shopping Centre and Bury Market and it contributes significantly to the legibility of the town centre, providing a clear point of reference and arrival/departure point.

Transport for Greater Manchester has commissioned studies on the future of the interchange site in the context of town centre and wider development opportunities and in the light of co-ordinated future travel plans. The studies will also include the site of Kay Gardens within the conservation area. It is important that appropriate heritage expertise is engaged as part of the development process and that the heritage significance of the area is fully assessed and included within any design brief.

Any redevelopment in this location provides an opportunity to achieve the following –

- Improved transport hub and arrival point in the town centre
- A contribution to the economic viability of the town

- The possibility of adding new uses that will enliven this part of the town centre and encourage other improvements
- High quality architectural results that will enhance the character of the area and its buildings
- A development of appropriate height and scale that will not dominate the area
- An appropriate setting and upgrade for Kay Gardens and surrounding uses

To protect the area's heritage and to produce a successful addition to the town the following development parameters are seen to be important –

- An interchange hub entrance that is in the north of the site and accessible/visible from all directions.
- A strong pedestrian route and open vista between Princess Parade and Moss Street, and which could have some limited low level development frontage.
- A built form that graduates between the building heights in the town centre and the 5/6 storey development on the south side of the ring road, with the main development at the ring road part of the site which is the least sensitive in terms of impact and intrusion.
- A development that does not block or disturb the good views and vistas between the town centre and the town hall and Bury College, ie that protects the legibility of uses and spaces.
- A development that does not challenge or dominate the main elevations of the former Art Cinema and The Athenaeum.

The Council is already working with town centre business and has also recently engaged consultants to review the overall master plan for the town centre and consider opportunities for change and regeneration. This work could have a significant impact on the future of the conservation area's significance.

The Council may be aware that there is considerable investment planned for the neighbouring centres of Bolton and Rochdale. It is important for the appeal and success of Bury town centre that it does not decline as others improve.

## **Area Boundary**

The current area boundary is restrained by the ring road or modern development. In the north it is controlled by Peel Way and the south by Angouleme Way. To the east is the Millgate Centre and the bus/rail interchange, and the west it stops at the modern Leisure Centre and the clear boundary of the deep cutting for Bolton Station and the railway. The town hall has previously been suggested for inclusion. Angouleme Way provides clear separation between the town centre and the area to the south and extension in this direction is not supported. However, to the south of Angouleme way along the A56 Manchester Road there are groups of C19 buildings, some of which are included within the Council's draft local list of heritage assets. Parts of this area, including the town hall and Whitehead Gardens may benefit from consideration for inclusion within a new conservation area that is primarily residential in nature. This should be a separate piece of work with consideration to its own designation.

In the north east the conservation area runs along The Rock stopping in the location of Union Street. Beyond this point there are streets and buildings of interest. Tithebarn Street and Parson's Lane are early streets within the town centre. 12 Tithebarn Street and 13 to 25 Parson's Lane are included in the draft local list due to their pre 1849 date. Carne House, a former union office, on Tithebarn Street is also a listed building dated 1865. This area abuts the Rectory grounds, a key site within the current conservation area. Along the Rock there are large 4 storey stone and brick







## **Recommendations**

In addition to the recommendations approved in the 2007 document (outlined in the appendix listed below) and from the discussion and conclusions above, the following proposals are put forward.

These are in the form of a list intended to provide interlinked actions that will protect and enhance the character of the conservation area and guide investment and improvement. The actions should be subject to appropriate consultation.

1. The creation of a vision and strategy for the conservation area, ensuring its future role in the success of the town centre, and contributing to the wider master planning and regeneration proposals.
2. Within the conservation area, target limited new development/reuse to sites that currently have a negative impact or where opportunities lie eg parts of Bolton Street.
3. Develop a programme with stakeholders to open up vacant floor space for new uses.
4. Investigate and consider the additional powers for advertisement and signage control. Produce/amend shop front and signage policy and guidance, and general conservation good practice, to assist in design and alteration, and explain the need for permissions.
5. Work with Transport for Greater Manchester to bring forward the redevelopment of the interchange site to produce a solution that contributes to the character and economic benefit of the town centre and in line with the development parameters set out in this report.
6. Ensure swift enforcement action when inappropriate unauthorised works are undertaken.
7. Extend the conservation area along the Rock.
8. Research and develop proposals for potential external funding and consider a HLF application for funding support for facelift and floor space schemes for the priority areas on The Haymarket and The Rock, and public realm improvement in and around Kay Gardens.

## **4.0 Resources**

This report and the additional actions put forward in paragraph 3 raise the issue of resources. The reports on Ramsbottom Town Centre and the other 10 conservation areas also recommend actions that have resource implications. The Council's growth agenda may also require support in this work area.

Since 2012 there has been no Conservation Officer post on the establishment. The Development Management officers have dealt with applications with heritage importance, but there has not been an opportunity to carry out any proactive work or to undertake any heritage supporting activities in

the borough. Since summer 2016 additional work has been undertaken by a part-time consultant heritage advisor who has concentrated on the review of the conservation areas and the production of the local list of buildings of special architectural or historic interest, and advised on applications and enforcement.

An officer on the establishment is currently receiving part-time building conservation training at UCLan with the view of him taking over heritage duties during 2019. The workload of the officer will need to be reviewed in the context of the LPAs duty via statute for conservation areas, listed building and ancient monuments, and the additional actions recommended in all the 3 committee reports.

The recommendations for the Bury Town Centre Conservation Area need to fit within the wider initiatives for the town centre. There is much work to do on a number of fronts to ensure that the town centre continues to be successful and that it continues to be attractive and welcoming to workers, shoppers and visitors. All activities in the town centre need to be co-ordinated and heritage issues need to be an essential part of this. The resource required to support this work might be required in addition to that for the other 11 conservation areas.

## **5.0 Conclusion**

Actions are required to reverse the decline in the character and significance of the conservation area and those actions need to be part of wider strategy to ensure the continued success of the town centre.

---

### **List of Background Papers:-**

Original Conservation Area Appraisal and Management Plan for Bury Town Centre 2007.  
Review of Bury Town Centre Conservation Area January 2019.  
Photographic appendix to the review. 2018  
National Planning Policy Framework 2018.

### **Contact Details:-**

Mick Nightingale  
Consultant Heritage Officer  
Strategic Planning and Economic Development  
Department of Resources and Regulation  
3 Knowsley Place  
Duke Street  
Bury  
BL9 0EJ  
**Tel:**  
**Email:**[m.nightingale@bury.gov.uk](mailto:m.nightingale@bury.gov.uk)

## **2018 Review of Bury Town Centre Conservation Area Appraisal and Action Plan. January 2019.**

### **Introduction/Background**

Bury Council as the local planning authority has a statutory duty to preserve and enhance the character of its conservation areas. This should be done in line with the guidance in the National Planning Policy Framework 2018 and the Council's own local planning policies. An understanding of the significance of each conservation area is central to these responsibilities.

The conservation area was designated in 1978 and extended in 2005, and the original appraisal/action plan was published in February 2007 (prepared by The Architectural History Practice Ltd). This followed research and an assessment of the area and consultation with residents and local groups. It outlined the history of the area, the qualities of its architecture and environment, and put forward proposals for accommodating change and ensuring that the character of the area was preserved and enhanced.

The Council's website link for the 2007 plan is  
<https://www.bury.gov.uk/CHttpHandler.ashx?id=4322&p=0>

Historic England, the primary heritage advisory body in England, and other heritage bodies, recommend that appraisals and plans are regularly reviewed and updated. In the intervening 11 years since this plan was published there have also been changes to national conservation guidance. Bury Council has decided, in this context, to undertake a quick review all of its conservation area appraisals/action plans. The area has now been re-surveyed (December 2017). In the years since the action plan there have been concerns expressed over the deterioration of the character of the conservation area and the area is currently seen to be at risk of further decline. It is listed on the current Historic England's At Risk Register.

It is not necessary within the review to revisit the history and origins of the area. It may be necessary to review what is significant about the area's heritage, as this may help to guide future decisions on proposed changes. It will be important to note what has happened since 2007 and how successful the action plan has been. The review should note threats to the area's character and opportunities for its enhancement, and make recommendations about the way forward. The review should also consider if the current area boundary requires adjustment.

The main areas of the review are : -

- **Area Significance 2018**
- **Changes from 2007 to 2018 - Issues**
- **Accommodating Change/Threats and Opportunities**
- **Area Boundary**
- **Recommendations**

The words shown in coloured italics below are extracts from the 2007 action plan report. An appendix of photographs with description illustrates some of the comments now made.

## Area Significance 2018

Much of what was written about the heritage significance of the area in 2007 still applies. This was covered under part 4, considering area character, significant buildings, public areas, architectural features and green spaces. The heritage significance of these areas remains, and justifies their continued protection. Although there has been some further decline in area character, the conclusion in the report remains the same. This stated that -

*Bury Conservation Area contains some fine listed buildings and unlisted buildings of historic merit. The use of local building stone gives the town its important local context, and architectural features including fine metalwork and joinery contribute to provide a town centre of unique character. Bury also has a number of green spaces and hard landscaped areas which provide an oasis in the centre of the conservation area.*

*These positive conclusions are, however, challenged by ongoing threats to the character of the conservation area. These exist in the form of alterations to historic fabric, general street clutter and such problems as under-used upper floors. Sections 5 and 6 outline the various issues which face Bury Conservation Area, now and in the future.*

One issue that has not been previously considered is the visitor's perception and understanding of the town centre, and that part within the conservation area. Generally, the layout of the town centre is legible and easily understood. It is not a complicated street pattern that is difficult to negotiate. The various parts of the centre, the market, the Rock, Market Place and surrounding streets, and The Millgate and the interchange fit well together. Clearly, views and vistas are important to this and there are key visual linkages, say from Market Place to the interchange, to the new Rock development, and out along Bolton Street. Views into and out of the town centre can help to orientate people and the centre's enclosure largely within the inner ring road helps to define it. The scale of the centre is also important, being fairly compact even with the building of the new shopping area along The Rock to the east. Also building heights away from the new Rock are quite low, allowing key landmarks to be seen. All this is part of the area's significance that should be protected. Part of the centre's success may be due to these characteristics as well as the facilities that are provided. It is therefore important that the street pattern and building heights are respected within the conservation area.

## Changes from 2007 to 2018 - Issues

The 2007 Management Plan/Action Plan part of the appraisal considered key issues for the area and how to accommodate change. It put forward a number of policies and recommendations. Any changes in the area can be reviewed in the context of these factors.

### Issues

The following are the key points from the issues raised in 2007. Each is followed by a comment reflecting the current situation.

*Windows and door joinery: while Bury town centre's buildings retain some good examples of historic windows and doors, the replacement of such joinery is a major issue throughout the conservation area. Listed buildings on the Market Place have had windows replaced, but the problem is particularly visible in Bolton Street, Haymarket Street and the southern end of Market Street. On these streets,*

*many traditional upper-floor timber sliding-sashes have been replaced by a variety of different window styles which damage the unity and regularity of terraced streets. The residential terraces in the south west corner of the conservation area also have a large number of inappropriate replacement windows and doors. Window openings have, however, rarely been altered which helps to preserve the historic proportions and retain some unity.*

Comment: This problem still persists and the visual damage has increased since 2007. Many of the changes have not been authorised through the planning process. This is a problem that combines with the shop front issue described below and which is having a gradual but serious impact on certain parts of the conservation area and the quality of the town centre.

*Shop fronts: within the conservation area there are good examples of original and reproduction shop fronts which maintain the character of the historic centre (8-12 Bolton Street, for example), but some good buildings are spoilt by crude shop front signage and fascias. 14-16 Market Street (WDC Estates and Nationwide Building Society), 8-10 Market Place (BSM), 17 Broad Street and 13-21 The Rock are some of the more obvious examples.*

Comment: This problem has grown since 2007. The issue is not now just about individual frontages but large groups and terraces. These alterations are made worse by the more recent trend for banners fixed to buildings and in upper floor windows, and sometimes above ground floor level, and to railings and walls. The worst areas are The Haymarket, parts of The Rock and Bolton Street. Some parts of the area have remained largely unscathed. These are Silver Street/Manchester Road and The Market Place, where the presence of listed buildings has helped control change. The worst recent alteration is the former George Hotel, which has had every opening on the front elevation altered in some form. Many of these changes have been unauthorised and the scale of change suggests an attitude that owners can do what they wish without the need for permission. This particularly applies to the increase in out of character fascias and signage. The alteration of frontages is the single greatest threat to the appearance and quality of the town centre. Some of the changes have involved replacing existing modern shop fronts and signage in C20 buildings, where it is possibly thought that change has less impact on area character or do not require permission. This issue requires a policy review and new approach.

In addition to enforcement where permission has not been sought, there are some options that the Council can consider in attempting to combat the advertisement/signage issue. Some adverts have deemed consent, and this can be restricted within an area with the approval of the Secretary of State. Discontinuance action can also be taken in particular cases and for particular sites. The Council could also apply for an Area of Special Control to enforce a stricter regime of advert control and this allows some adverts to be removed after a certain period. All these options have processes and regulations to be followed and will require consultation, justification and review. If there is a wish to act then this area requires further detailed investigation.

*Roller shutters have also been installed on a few historic shop fronts, including 17 Broad Street. Although this is rare, it is all the more obvious because of the small number of original shop fronts in Bury town centre.*

Comment: There have been some additional roller shutters installed since 2007. These do have a negative impact on the appearance of streets. The majority of the shutters are found on Bolton Street, parts of The Rock and Broad Street. External roller shutters are harmful to the character of streets and should continue to be resisted.



*Few buildings in Bury conservation area are entirely empty and at risk of neglect. Exceptions include the fine former post office building on Crompton Street and the listed Art Picture House on Haymarket Street, which has weeds sprouting from its gutters and several boarded up windows in the upper storeys. This building needs a sympathetic owner and a viable new use to ensure it continues to contribute to the character of the conservation area.*

Comment: Since 2007 there have also been positive changes that have reinforced the special character of the area. The HLF has supported three projects (1) the establishment of the Fusiliers Museum and Tourist Information Office in the former Technical College and School of Art on Broad Street, and (2) the upgrading of the Bury Transport Museum north of Bolton Street. The Fusiliers Museum involved a modern extension facing Silver Street and the relocation of the Lutyens War Memorial into what is now an upgraded Gallipoli Gardens. More recently HLF money has supported (3) the upgrading of the MET theatre on Market Street. The Clarence PH, the Art Cinema, the Raynors PH and the old post office have been restored and brought back into full use. Consequently, the town centre's visitor appeal may have increased.

The opening of the new Rock development to the immediate east of the town centre in 2010 did have a short term negative impact on the vacancy rate within the conservation area. Some users, like Barclays Bank, did move to the new development. The new Rock also had a short term negative impact on the Millgate Centre. Fortunately, for both the Millgate and the conservation area the buoyancy of the town centre overall has meant that ground floor units in the west of the town centre are mostly full, though some uses such as charity shops concentrated in certain areas may suggest a unstable situation.

*A more widespread issue is the under use of the upper storeys of many historic buildings in the town centre. Under-use can lead to neglect and falling property values, making the buildings' future vulnerable. Affected listed buildings include number 1 The Rock and 8-10 Market Place, and buildings of historic merit such as 16 Bolton Street, Castle Buildings and parts of Derby Chambers on The Rock. A strategic approach to the use of upper floors should be employed to address this issue.*

Comment: This remains a serious problem in many parts of the area and one that has not so far been addressed by any of the stakeholders. Most of the conservation area is affected by this issue.

*The town centre has benefited in the past from publicly-funded schemes of enhancement work to the public realm and to individual properties, part-funded by English Heritage and the Heritage Lottery Fund. However, there is scope for further, focused work. For example, co-ordination of new street furniture and the retention of traditional pieces will help to protect the attractiveness of the streets.*

*The treatment, design and maintenance of the public realm is generally unobtrusive, but in some cases it does detract from the historic character of the town centre. The paving and profusion of street furniture on the east side of Kay Gardens, along Market Street (south), is an example.*

Comment: The public realm is beginning to look very tired and outworn. Areas previously improved via grant aid are also in decline. This is impacting on the quality and appearance of the town centre overall. There is a clear comparison between the quality of the external areas and maintenance in The Rock development with the poor relation in the rest of the town centre. The paved area to the east of Kay Gardens continues to deteriorate and although Kay Gardens itself has had a number of

facelifts it does not provide the welcoming, open and usable open space that it could. The condition and appearance of some back streets and back land only adds to the problem.

*In some cases the modern surface treatment is too diverse and serves to erode the coherence of the space as a whole. In Market Place, for example, different colours of surface are used for vehicle and pedestrian areas, with bollards, planters and multiple poles cluttering the street scene. Different textures in a similar colour would work better. The pink textured surfaces used to denote hazards such as crossings are also visually intrusive: other textured materials such as stone paving with raised discs would be less so.*

Comment: Valid comment but not high priority within this review. It is possible that some of the issues described could be tackled as part of any wider street works initiatives.

*Highways signage is essential, but in some areas of Bury town centre it has impacted on the historic character of the conservation area. In such cases, badly sited signs cause visual clutter, block views of buildings and may provide an additional obstacle to pedestrians.*

Comment: Valid comment but not currently high priority.

*Some streets in the conservation area – most notably Haymarket Street and Market Street – have a mixture of modern, reproduction lamps and older lights, which creates an undesirable visual clutter. There are a number of examples in the conservation area where the streetscape would benefit from a rationalisation of lamps.*

Comment: Valid comment but not currently high priority.

*Whilst the upper storeys of the street frontages are largely intact, commercial premises, particularly those selling food and drink, have introduced modern services like mechanical vents to the rear of properties. (In one case on 7 Broad Street, this has been installed on the front elevation.) Back streets such as Crompton Street and Back Haymarket Street suffer from intrusive air handling units, extract flues, telephone cables, fire escapes and other accretions which detract from the historic character of the area. Some rear boundary walls have been removed to enable car parking, or replaced with inappropriate boundaries, such as timber fences.*

Comment: These issues have been re-surveyed. They continue to be a problem, together with some derelict buildings and areas. Some elements are essential to the operation of premises; landlords and owners should be advised on best practice and enforcement action taken when appropriate.

## **Accommodating Change/ Comment on Threats and Opportunities**

Heritage England considers the conservation area to be at risk of serious decline. This does not reflect well on the actions of the Council.

The 2007 report made the following comments.

*To ensure that the conservation area remains a vibrant part of Bury's future, historic buildings need to be fully occupied and maintained. The 2002 report 'Bury but Better' found that there is potential demand for town centre housing and some town centre offices. Such findings should inform a*

*Council-wide strategy covering unused floor space in the town centre. Increasing under-use of upper floors will gradually result in the deterioration of historic buildings. As well as loss of important and unique fabric, this also represents lost economic and social potential in the town centre. Increasing residential occupation in historic buildings may require some alterations, but it will also help to secure the future prosperity of parts of the conservation area. However, the Council's strategy should recognise that different character areas within the conservation area have different issues: Bolton Street may not have the same potential for residential reuse as, for example, Silver Street. In Bolton Street, selective demolition of negative buildings may attract new development of a suitable type and scale which would reinforce the historic building line and original verticality. Possible candidates for demolition include numbers 11-19 and the single-storey taxi office by number 24 Bolton Street. The 'Bury but Better' report also draws attention to a study by Drivers Jonas which found that there was potential to expand Bury's shopping centre. Planned new development is currently focused to the east of the town centre, along the Rock and on Knowsley Street. Such development may refocus the centre of activity in the town centre and move some attention away from the Market Place, Silver Street and Bolton Street. Bolton Street, as the least prosperous of these three areas, is the most immediately at risk of neglect and disuse. The application of a Council strategy on under-used upper floors in this area would be helpful. It may be useful to undertake a separate study specific to Bolton Street in order to understand why decline has already set in here. Any report should review existing uses, look at the reasons for vacant space, appraise the condition of existing buildings and the public realm, and examine the potential for careful redevelopment. The report should also take account of the importance of the street as the western gateway into the town centre. Great potential exists for shops and businesses in the street to benefit from tourists using Bolton Street Station, which is a vibrant and unusual focus for the area.*

Comment: The west of the town centre has so far survived the success of the new Rock development. For the conservation area, this is probably due to the variety of functions within its boundary. On a small scale it is a commercial, cultural and civic hub, a tourist attraction, a food and evening destination and part of the shopping centre. There have been successes within the area through private investment, the re-opening of the post office, the Art PH, the Clarence and Raynors PHs, and through grant aid supporting the East Lancs Railway, the Fusiliers Museum and the MET. There has also been an uptake in frontage space along Bolton Street since 2007, possibly reflecting lower rates/rentals in this area. This mix of functions does appear to support some success, but at present this has been achieved possibly via a number of happy coincidences rather than as part of a planned strategy with targeted objectives and programmes.

The 2007 report outlined the need for a vision and strategy to address the negative issues and to develop the remaining potential. Dramatically reducing resources has become a significant issue for Bury Council since the 2007 report and it is not surprising that such a strategy has not been seen as a priority. However, by investing in officer time and some funding, opportunities might be unlocked. The current issues might be addressed in part by developing a project for both external funding support and proactive development management, all based on a broad strategy and vision.

Heritage Lottery Funding is available for a wide range of projects. The current nationwide HLF Townscape Heritage Project is coming to a close but a new strategic framework and programme is to be established from 2019 onwards. The full detail of the new programme is expected to be revealed at the end of January 2019, and it is expected that it will still target the upgrading of shop terraces in conservation areas, including the release of unused floorspace, and associated public realm improvements. This type of project could address some of the negative issues outlined earlier in this report.

The Council did submit an expression of interest enquiry to the HLF in summer 2017, based on options for shop front, floorspace and public realm improvements. HLF officers visited and advised on the future programmes and what the Council would need to do to produce a credible application. The production of this conservation area action plan review was one such action, but others included extensive dialogue with stakeholders and the community, and building a project that would achieve outcomes for heritage, education, diversity, and community development. Advice also covered the scale of the project with comment about the potential benefit of including some terraces currently outside the conservation area boundary. These could only be included within a HLF project if they were part of the conservation area. The area boundary is assessed separately below and there is a strong case for the extension of the conservation area based on heritage criteria. However, a HLF project would require initial financial support from the Council for the preparation of proposals and a future contribution towards the cost of future capital works. Also, the scale of work and commitment required to produce a successful HLF scheme should not be underestimated.

Many issues raised in 2007 and 2018 are associated with change to commercial frontages and land. Small individual changes can accumulate into harmful trends. Changes to shop fronts, roller shutters, flues etc can be controlled through the planning process. Problems have arisen when work on site is undertaken without permission. There is a need for the Council to support both greater information and guidance for business and for quick and effective enforcement when unauthorised work is undertaken. Advertising on commercial premises has been harmful to the character of the area. Some advert types have deemed consent (requiring no formal permission from the Council) and others have been erected without permission. The potential additional powers and actions to combat the damage of poorly designed fascias and a range of signs and adverts has been outlined above.

### **Other Related Initiatives and Projects**

The 2007 report did not consider the future of the bus/Metrolink interchange. The interchange was opened in 1980 and consideration is now being given to its redevelopment to meet modern day transport needs. The interchange sits immediately to the south of the conservation area and shares its northern and western boundary with the conservation area. It is also within the setting of listed buildings and buildings on the current draft local list. Its redevelopment will have the potential to impact upon the significance of the conservation area, the setting of historic buildings and important town centre views. The current site is made up of the Metrolink station at a lower level and glazed ground level walkways serving the bus stops and a central 2/3 storey glazed office. There are large areas of carriageway within the site and a car park to the south which abuts the inner ring road. The site is generally low lying, has minimum impact on the townscape of the centre and its appearance is very much of 1970s design. Its location is ideal for visitors to the Millgate Shopping Centre and Bury Market and it contributes significantly to the legibility of the town centre, providing a clear point of reference and arrival/departure point.

Transport for Greater Manchester has commissioned studies on the future of the interchange site in the context of town centre and wider development opportunities and in the light of co-ordinated future travel plans. The studies will also include the site of Kay Gardens within the conservation area. It is important that appropriate heritage expertise is engaged as part of the development process and that the heritage significance of the area is fully assessed and included within any design brief.

Any redevelopment in this location provides an opportunity to achieve the following –

- Improved transport hub and arrival point in the town centre
- A contribution to the economic viability of the town

- The possibility of adding new uses that will enliven this part of the town centre and encourage other improvements
- High quality architectural results that will enhance the character of the area and its buildings
- A development of appropriate height and scale that will not dominate the area
- An appropriate setting and upgrade for Kay Gardens and surrounding uses

The Council is already working with town centre business and has also recently engaged consultants to review the overall master plan for the town centre and consider opportunities for change and regeneration. This work could have a significant impact on the future of the conservation area's significance.

The Council may be aware that there is considerable investment planned for the neighbouring centres of Bolton and Rochdale. It is important for the appeal and success of Bury town centre that it does not decline as others improve.

### **Area Boundary**

The current area boundary is restrained by the ring road or modern development. In the north it is controlled by Peel Way and the south by Angouleme Way. To the east is the Millgate Centre and the bus/rail interchange, and the west it stops at the modern Leisure Centre and the clear boundary of the deep cutting for Bolton Station and the railway. The town hall has previously been suggested for inclusion. Angouleme Way provides clear separation between the town centre and the area to the south and extension in this direction is not supported. However, to the south of Angouleme way along the A56 Manchester Road there are groups of C19 buildings, some of which are included within the Council's draft local list of heritage assets. Parts of this area, including the town hall and Whitehead Gardens may benefit from consideration for inclusion within a new conservation area that is primarily residential in nature. This should be a separate piece of work with consideration to its own designation.

In the north east the conservation area runs along The Rock stopping in the location of Union Street. Beyond this point there are streets and buildings of interest. Tithebarn Street and Parson's Lane are early streets within the town centre. 12 Tithebarn Street and 13 to 25 Parson's Lane are included in the draft local list due to their pre 1849 date. Carne House, a former union office, on Tithebarn Street is also a listed building dated 1865. This area abuts the Rectory grounds, a key site within the current conservation area. Along the Rock there are large 4 storey stone and brick terraces (numbers 61 to 105 and 58 to 92) mostly dating from the end of the C19. Their upper floors are largely as they were built and carry architectural features such as bay windows, ornate stone pilasters, string courses, mullions, lateral gables and dormers with carved and moulded pediments, carved kneelers and finials, ornate brickwork and terra cotta detailing. Numbers 63 to 67 appear to be c1850 and retain features from this period on their upper floors. Number 61 is of 1940s date. This area currently forms the setting of the conservation area. It is also a link area between the old town centre and the new Rock development. It is an area of mixed qualities, and suffers from some of the shop front and signage problems outlined under issues above, but it is an area that would benefit from close planning control and also a level of enhancement. It also appears to contain vacant upper floors that could be brought into use if funding for upgrading initiatives could be secured. This falls within the defined functions of the conservation area, and an extension to include the above buildings is supported.

### **Recommendations**

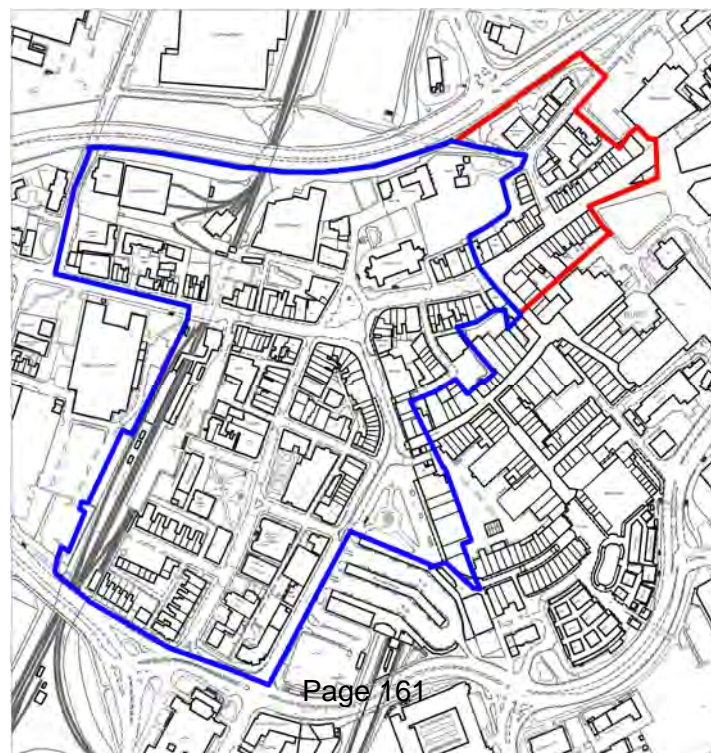
In addition to the recommendations approved in the 2007 document (outlined in the appendix below) and from the discussion and conclusions above, the following proposals are put forward.



These are in the form of a list intended to provide interlinked actions that will protect and enhance the character of the conservation area and guide investment and improvement.

1. The creation of a vision and strategy for the conservation area, ensuring its future role in the success of the town centre, and contributing to the wider master planning and regeneration proposals.
2. Within the conservation area, target limited new development/reuse to sites that currently have a negative impact or where opportunities lie eg parts of Bolton Street.
3. Develop a programme with stakeholders to open up vacant floor space for new uses.
4. Investigate and consider the additional powers for advertisement and signage control. Produce/amend shop front and signage policy and guidance, and general conservation good practice, to assist in design and alteration, and explain the need for permissions.
5. Work with Transport for Greater Manchester to bring forward the redevelopment of the interchange site to produce a solution that contributes to the character and economic benefit of the town centre.
6. Ensure swift enforcement action when inappropriate unauthorised works are undertaken.
7. Extend the conservation area along the Rock.
8. Research and develop proposals for potential external funding and consider a HLF application for funding support for facelift and floor space schemes for the priority areas on The Haymarket and The Rock, and public realm improvement in and around Kay Gardens.

## **Appendix. Policies from the 2007 Management Plan**



The following are approved policies which still apply to the conservation area. Changes to government legislation and guidance, and in grant arrangements, have taken place since 2007 and these may affect the terminology used.

## **6.0 Accommodating Change**

### **6.1 Bury in the 21st Century**

Bury Conservation Area is a well-preserved example of a Lancashire market town that had its greatest period of prosperity in the 19th century. The centre of Bury provides an area of considerable local distinction; its historic assets help to give the town a unique character. It is important that these assets are well looked after in the future – such care reflects an awareness of their important contribution to Bury's sense of place and identity.

A surprising number of buildings are still in the use for which they were built; public and commercial buildings predominate in the town centre. However, changes have inevitably occurred: the town's fortunes declined as the local manufacturing base declined, and redevelopment in the 1960s and 1970s did much to alter the character of parts of Bury. The clearance of historic buildings to the east of the town centre, the redevelopment of the markets and the construction of the ring road separated the historic core from the surrounding urban fringe. New uses have been found for the few prominent historic buildings where the original use has ceased. The conversion of 18-20 Market Street into a wine bar is a good example. There is now very little residential accommodation within the conservation area, although there is potential for new flats above commercial ground floors.

High levels of car ownership on streets where once there was none bring some parking problems in the town centre, although the transport interchange on Haymarket Street does help to limit motorised commuters; the Metrolink provides an important direct connection to Manchester. The space around St Mary's Place is diminished by the number of cars parked there, and the street line is broken up on Irwell Street where a building has been demolished. Car parks do not diminish the character of the conservation area elsewhere; most of the parking is consigned to beyond the conservation area. The 1970s ring road reduced the number of cars going through the town, and allowed The Rock to be part pedestrianised. Highway signage and lighting is an essential part of the modern highway, but designs chosen for their reference to historic patterns, such as those around the Market Place, fit better into the historic town centre than standard modern concrete or steel designs. Historic street and footway materials have largely been superseded by tarmac or concrete paving, although on less used or prominent streets, setts and stone paving are still a distinctive part of the street scene and should be retained. Appropriate maintenance and good repair of historic materials is essential to ensure their future survival.

Modern communications and security needs have impinged on buildings and the streetscape; telephone wiring, satellite dishes, alarm boxes and air handling units are intrusive on some commercial buildings, for example on Crompton Street. With care, these services could be installed with less visual damage to the street scene. The pressures for modern, back-lit plastic shop fascias from high street chains and others has contributed to the loss of visual unity on the principal commercial streets of The Rock, Bolton Street, Market Street and The Haymarket. A large number of windows and doors in the conservation area have been replaced with modern patterns which pay little heed to the buildings' architectural character and their historic context.

Whilst many of the changes are individually relatively minor, taken together they can have an adverse

impact on the appearance and character of the conservation area. Drawing attention to the special features of the place and setting this in a historic framework is one way of highlighting the special interest of the area, to help inform owners and the local authority, so that insensitive alterations can be minimised in the future

## **6.2 Bury Conservation Area's future role in the town centre**

To ensure that the conservation area remains a vibrant part of Bury's future, historic buildings need to be fully occupied and maintained. The 2002 report 'Bury but Better' found that there is potential demand for town centre housing and some town centre offices. Such findings should inform a Council-wide strategy covering unused floor space in the town centre. Increasing under-use of upper floors will gradually result in the deterioration of historic buildings. As well as loss of important and unique fabric, this also represents lost economic and social potential in the town centre. Increasing residential occupation in historic buildings may require some alterations, but it will also help to secure the future prosperity of parts of the conservation area. However, the Council's strategy should recognise that different character areas within the conservation area have different issues: Bolton Street may not have the same potential for residential reuse as, for example, Silver Street. In Bolton Street, selective demolition of negative buildings may attract new development of a suitable type and scale which would reinforce the historic building line and original verticality. Possible candidates for demolition include numbers 11-19 and the single-storey taxi office by number 24 Bolton Street.

The 'Bury but Better' report also draws attention to a study by Drivers Jonas which found that there was potential to expand Bury's shopping centre. Planned new development is currently focused to the east of the town centre, along the Rock and on Knowsley Street. Such development may refocus the centre of activity in the town centre and move some attention away from the Market Place, Silver Street and Bolton Street. Bolton Street, as the least prosperous of these three areas, is the most immediately at risk of neglect and disuse. The application of a Council strategy on under-used upper floors in this area would be helpful. It may be useful to undertake a separate study specific to Bolton Street in order to understand why decline has already set in here. Any report should review existing uses, look at the reasons for vacant space, appraise the condition of existing buildings and the public realm, and examine the potential for careful redevelopment. The report should also take account of the importance of the street as the western gateway into the town centre. Great potential exists for shops and businesses in the street to benefit from tourists using Bolton Street Station, which is a vibrant and unusual focus for the area.

## **6.3 Philosophy for Change**

As noted above, Bury Conservation Area has successfully accommodated many changes. Conservation policies are not intended to prevent change: it is recognised that change takes place and that organisations and individuals need and wish to improve their properties and the local environment. The aim of the policies in section 7 is to guide the way these changes are made, so that the special historic character and appearance of the conservation area is protected for future generations.

## **7.0 Protecting Special Interest: Policies and Recommendations**

### **7.1 Suggested conservation area boundary changes**

The existing Bury town centre conservation area includes the core of the historic town, extending south along Manchester Road and Haymarket Street to the ring road, north to Peel Way, west along Bolton Street to Castlecroft Road and east to Union Street and School Brow.

The following additional area is recommended for inclusion in Bury's town centre conservation area: Town Hall extension, Knowsley Street. The ashlar clad, classical-style Council offices, by Jackson and Edmonds of Birmingham (1939-40 and 1947-54) dominates the south side of the town. Although it has been cut off from the centre by the ring road, the building is important in views south along Manchester Road and at the southern end of Haymarket Street. It is a fine quality building with strong link to the town centre. Although it may be unusual for a conservation area boundary to cross a barrier such as a dual carriageway, it is not unprecedented: Birmingham's Central Fire Station forms the apex of Steelhouse Lane Conservation Area, whose main body is the other side of the A38.

Although there are a number of historic buildings along The Rock, beyond the eastern boundary of the conservation area, including Hornby Buildings and numbers 68 to 84, they do not form a cohesive enough group to warrant an extension eastwards of the conservation area. A brief description of buildings of particular historic merit which are just outside the conservation area boundary is given in 4.5. Some current plans exclude numbers 19-21 The Rock from the conservation area. The correct designation should include numbers 15-21, which is one building.

**7.2 Architectural Features • Windows and doors:** The conservation area has some fine historic windows and door joinery, but replacement of such features with inappropriate modern materials is an issue. In a small number of residential properties in the conservation area, windows and doors have been replaced. In St Mary's Place, the Market Place and Market Street, this has happened despite the fact that these buildings are listed.

#### Recommendation

1. Good examples of original windows and doors should be recorded, and the pattern used to encourage reinstatement of appropriate replacements. Consideration should be given to introducing a focused grant scheme to encourage window restoration in specific problem areas like St Mary's Place.
2. To retain surviving historic windows and encourage the reinstatement of traditional windows, it is recommended that an audit is undertaken, to record the conservation area's traditional window patterns. This should be used to inform guidance for building owners.

• **Shop fronts:** Bury has very few original or historic shop fronts, but those that do exist contribute to the character of the conservation area.

#### Recommendation

1. Consideration should be given to recording any historic shop fronts. Good examples should be retained and the advice within the Council's Shop Fronts and Signs Guide widely promoted.
  2. Steel roller shutters should continue to be resisted in the town centre.
  3. New commercial advertising and shop signs should not consist of the modern plastic, back-lit fascias that have become the norm in The Rock and Bolton Street.
- The restoration of signs more in keeping with the character of the town should be encouraged. Council guidance on shop fronts and signs should be promoted, and rigorous enforcement used to resist the pressure for inappropriate advertising in the conservation area.

### 7.3 Building alterations

• **Disabled access:** some ramps currently installed in the conservation area have more impact on

historic fabric than others. Contemporary or traditional designs may provide equally interesting solutions to disabled access requirements.

#### Recommendation

Clear guidelines about the materials and style of disabled access ramps in the conservation area should be provided by the Council.

• **Satellite dishes, TV aerials and alarm boxes:** satellite dishes and security boxes have been installed on many properties, commercial and domestic, in the conservation area, although these are rarely on the building frontages. Nevertheless, the accumulated effect of too many dishes, alarm boxes and aerials can detract from the character of the area and be visually intrusive.

#### Recommendation

Satellite dishes, TV aerials and alarm boxes should be carefully sited in order to reduce the visual clutter on buildings in the conservation area. Guidance on location and appropriate colours could substantially minimise the impact of these changes.

### 7.4 Enforcement

The unauthorised fixing of services, telecommunications and security equipment to commercial properties is eroding the character of some streets in the town centre. The unauthorised replacement of windows and doors in the conservation area also erodes character.

#### Recommendation

An audit of unauthorised installations and alterations in the town centre should be undertaken. This should be followed by a programme of appropriate, prioritised enforcement action to secure the removal of unnecessary or damaging installations and provide improvements to essential installations where possible. Conservation area guidance for Bury business owners could include advice on installing equipment. Enforcement action should be used to reverse inappropriate window or door changes.

**7.5 New Design** Proposals for extensions, infill development and other new buildings have so far not had a damaging impact on the conservation area's character. Although there are presently few development sites in the town centre, some scope exists for replacement of inappropriate post-war buildings. Development opportunities which do arise present an opportunity to enhance the character of the conservation area through sensitive, contextual and sometimes innovative design.

#### Recommendation

Generic urban design advice should be provided for all conservation areas in the borough. As part of the planning process, particular care should be taken to ensure that all development proposals are sensitive to the character and special interest of Bury. Opportunities for contemporary design should be considered, as well as traditional design.

### 7.6 Buildings at risk

New uses should be secured for buildings at risk that contribute to the character of the area.

#### Recommendation



An audit of buildings at risk in the area would identify vulnerable buildings and enable action and resources to be targeted. Flexibility should be exercised in accommodating suitable new uses for empty and under-used historic buildings.

### **7.7 Vacancy and under-used upper floors**

Although dereliction is not common in the conservation area, the situation requires monitoring. The principal issue in the conservation area is the number of historic upper storeys which are 'To Let'. The best way of securing a future for historic buildings is by ensuring they have a viable use, and residential use is an option that needs to be actively explored. The re-use of under-used upper floors on commercial property should be actively encouraged. This will involve communication between relevant council departments, which should be encouraged to explore the potential for reusing vacant upper floors as residential flats.

#### **Recommendation**

Pro-active steps should be taken to secure the re-use of empty, under-used or derelict buildings, through planning guidance and economic regeneration activity. A strategic approach to upper floors should be taken, co-ordinated across Council departments, to address the challenge of bringing under-used space into beneficial use, including residential.

### **7.8 Demolition in the conservation area**

The demolition of vacant buildings requires conservation area consent; the loss of buildings that make a positive contribution to the character of the conservation area should continue to be strongly resisted.

The demolition of buildings that make a positive contribution to the character of the conservation will continue to be resisted, and will require a very robust justification against the PPG15 criteria and local policy.

#### **Recommendation**

The design of all development sites, including those just outside the boundary should be considered for their impact on the conservation area. Sensitive redevelopment of sites should be promoted through planning and urban design guidance.

### **7.9 Demolition affecting conservation area gateways**

Demolition has an impact in 'gateways' to the conservation area. Conservation area consent may not be required to demolish, but there should be an awareness of how demolition will affect the approach to the designated area. For example, the planned demolition of the early twentieth century Hornby Buildings, which is outside the conservation area, will have an impact on the eastern gateway to Bury town centre.

#### **Recommendation**

Replacements for existing buildings of historic merit in gateways to the conservation area should enhance their surroundings, for example by echoing the scale and verticality of other historic buildings in the area.

### **7.10 Public Realm**

• **Paving and surface treatment:** Although mostly found on back streets, historic street and footway surfaces contribute immensely to the distinctive character of the area. Historic setts and kerbs should be retained and kept in good repair. On main streets and footways modern surfaces such as concrete paving detracts from the character of the conservation area. The mixing of historic and new paving can also detract from the conservation area's character.

#### Recommendation

1. A survey and audit should be undertaken to record the location and condition of historic surfaces.
2. A prioritised programme of repairs and materials salvage should be developed, together with a maintenance guide, to ensure the continued survival of important historic street surfaces.
3. Liaison between Planning and Highways should be further developed, and good practice in the conservation area agreed.
4. Consideration should be given to an agreed palette of new materials for use in the area, and to a prioritised programme for the replacement of poor quality materials with sympathetic new or salvaged historic materials.

• **Signage:** Signage for the highway and for pedestrians can create visual clutter and result in an excess of poles mounted on the footway, creating obstacles to footway users. Rationalising signage would help to protect the character of the conservation area. Careful siting of new signage is essential.

Well-designed interpretative signage makes the town accessible to visitors, and reinforces local distinctiveness and identity, provided design and siting is well considered.

#### Recommendation

1. An audit of signage in the town should be undertaken. Unnecessary signage should be removed and essential new signage should be carefully sited and designed, to reduce the number of additional poles on the footway, and to avoid sensitive locations. Existing poles and building walls should be used when appropriate.
2. Liaison between Planning and Highways should be further developed to ensure effective consultation and to agree the rationalisation of signage, as funds become available.

• **Bollards:** Bollards dot areas of public space in the town centre, but their purpose in doing so is not always clear. Bollards should only be used for specific purposes as they can present obstacles to pedestrians and clutter public spaces.

#### Recommendation

Liaison between Planning and Highways should be further developed to ensure effective consultation and agree the rationalisation of bollards. The use of bollards could be limited by, for example, ensuring redeveloped buildings adhere to the historic street line.

• **Railings:** Street railings appear in Bury town centre in a range of different styles. Ornamental railings on public and commercial buildings are of real historic interest, and should be preserved.

#### Recommendation

1. It would be unrealistic and undesirable to co-ordinate all the street railings in the conservation area. However, an audit of the different styles and their locations should help rationalise what currently exists and thereby improve the character of the area.

2. Marketing banners such as those which partly obscure the railings to the front of 18-20 Market Street should be discouraged.

- **Lighting:** Different styles of street lighting result in a cluttered, un-coordinated appearance to the public realm; co-ordination will help to protect the appearance of the conservation area.

#### Recommendation

1. Consideration should be given to rationalising the design of all street lighting within the Conservation Area, based on an audit of street lighting.
2. Opportunities to mount more street lighting on buildings, such as has been encouraged in the Market Place, should be explored to minimise clutter. New lighting should co-ordinate with other street furniture.
3. A positive working relationship between Highways and Planning should be further developed.

- **Refuse Bins:** Street bins, particularly the bright yellow commercial bins, are unattractive and detrimental to the character of the area. These bins create visual clutter and present obstacles to pedestrians and wheelchair users. A co-ordinated approach to all street furniture would help to protect the appearance and character of the area.

#### Recommendation

1. The design of street waste bins should be co-ordinated with other street furniture to complement the character of the conservation area. A co-ordinated approach throughout the town centre should be agreed and bins replaced as necessary.
2. The location of street bins, and the management of wheeled bins when agreed as part of new development, should take account of both the character of the conservation area, and the needs of people with disabilities.

### 7.11 Views

The views into, out of and around the town are important. Any major re-development proposals must, therefore, be considered in this context and the impact they may have on views should be fully assessed as part of the planning process.

#### Recommendation

A structured photographic survey should be undertaken to record key views, noting their viewpoints. From this a gazetteer / database could be developed to be used as a working tool for assessing development proposals. Applicants should provide adequate visual information to support their planning applications.

### 7.12 Green spaces

Bury's green spaces are important to the character of the conservation area and are often historically significant in the development of the town; they now provide valued green spaces within the densely developed urban environment.

#### Recommendation

1. The open spaces identified as part of this appraisal should be protected from future built development. Their importance in the conservation area should be taken into account in managing their maintenance and any changes in use.

2. Planters and flower baskets should, where appropriate, co-ordinate with other items of street furniture and not cause an obstacle.

### **7.13 Interpretation**

Bury is an interesting and attractive historic town, for both residents and visitors. The Bury Town Centre Conservation Area leaflet helps to disseminate information about the town's history and distinctive development, increasing the community's understanding and promoting positive conservation.

#### **Recommendation**

1. Continued use of the Bury Town Centre Conservation Area leaflet and other information about the town's special historic character to provide information and guidance about the conservation area and what it means.

2. Consideration should be given to the introduction of additional information boards (with profiled text and images) at key locations, perhaps funded through local business partnerships or planning gain.

MN May 2018 Updated January 2019

# Bury Town Centre Conservation Area Review 2019

## Photos Appendix

### Shop Fronts, Signage, Roller Shutters and Alterations.



From top, left to right.

The Haymarket with intrusive and garish shop fronts, poorly maintained elevations and unused upper floor.

The Rock, extensive signage, upper floor boards and posters.



11 to 19 Bolton Street, poor shop fronts and signage on frontage and canopy.

The Rock, rollers shutters, overlarge fascias and posters

Broad Street, roller shutters

21 to 23 Bolton Street, large and small posters and overlarge garish signs



60 Bolton Street, full range of signage and posters

The George, 5 Market Place, all windows in frontage altered.

### Vacant buildings and Upper Floors



58 to 92 The Rock, Largely vacant upper floors

Broad Street, signs for upper floors to let



Part of 61 to 105 The Rock, part empty upper floors

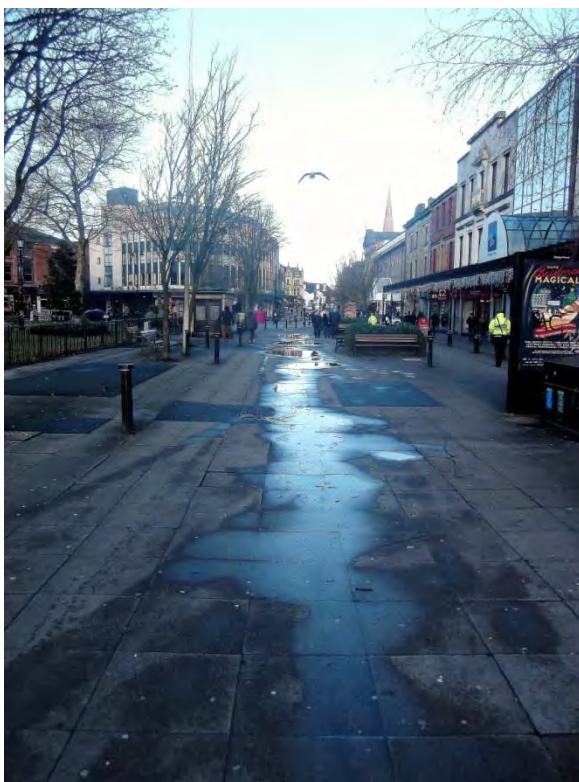
Former Barclays Bank, Silver Street, empty for a number of years

1 The Rock, empty for a number of years

8 to 22 Silver Street upper floors vacant



## Public Realm, Back Streets and Land.



Untidy land on Parks Yard at the back of Bolton Street

Back Broad Street off Silver Street

Market Street with patched paving and poor drainage

Kay Gardens in need of opening up and becoming a useable and valuable town centre space.

MN December 2018

# REPORT FOR DECISION

<b>DECISION OF:</b>	<b>PLANNING CONTROL COMMITTEE</b>
<b>DATE:</b>	<b>26 MARCH 2019</b>
<b>SUBJECT:</b>	<b>REVIEW OF RAMSBOTTOM CONSERVATION AREA PLAN</b>
<b>REPORT FROM:</b>	<b>DEVELOPMENT MANAGER</b>
<b>CONTACT OFFICER:</b>	<b>Mick Nightingale</b>
<b>TYPE OF DECISION:</b>	<b>COUNCIL</b>
<b>FREEDOM OF INFORMATION/STATUS:</b>	This paper is within the public domain
<b>SUMMARY:</b>	Most conservation areas have an appraisal and management plan. These are now up to 14 years old. This report outlines a mini-review of the 2007 plan for the Ramsbottom Conservation Area and the recommendations put forward for the area's preservation and enhancement.
<b>OPTIONS &amp; RECOMMENDED OPTION</b>	The Committee is recommended to approve in principle the actions in the report.
<b>IMPLICATIONS:</b>	
<b>Corporate Aims/Policy Framework:</b>	Do the proposals accord with the Policy Framework? N/A
<b>Statement by the S151 Officer: Financial Implications and Risk Considerations:</b>	Executive Director of Resources to advise regarding risk management N/A
<b>Statement by Executive Director of Resources:</b>	N/A
<b>Equality/Diversity implications:</b>	N/A
<b>Considered by Monitoring Officer:</b>	N/A
<b>Wards Affected:</b>	ALL
<b>Scrutiny Interest:</b>	N/A

## TRACKING/PROCESS

## DIRECTOR:

Chief Executive/ Strategic Leadership Team	Executive Member/Chair	Ward Members	Partners
Scrutiny Committee	Committee	Council	
	Page 174		

---

---

## **1.0 Background**

Bury Council as the local planning authority has a statutory duty to preserve and enhance the character of its conservation areas. This should be done in line with the guidance in the National Planning Policy Framework 2019 and the Council's own local planning policies. An understanding of the significance of each conservation area is central to these responsibilities.

From 2004 to 2011 Bury Council produced conservation area appraisals and management plans for 10 of its 12 conservation areas with the aim of better preserving and enhancing their character. The plans were the subject of consultation and Council approval and full details now appear on the Council's website. The plan for Ramsbottom was approved in 2007.

Historic England, the primary heritage advisory body in England, and other heritage bodies, recommend that appraisals and plans are regularly reviewed and updated. In the intervening 14 years since the first plans were published there have also been changes to national conservation guidance the most recent being the National Planning Policy Framework 2019. In this context, it has been decided to undertake a quick review all of the conservation area appraisals/action plans.

This report covers a mini-review of Ramsbottom Conservation Area. It contains a summary of the main review report which is attached to this report.

Two other reports have also been prepared, one for Bury Town Centre and one for the remaining 10 Conservation Areas. Each conservation area review is a stand-alone document.

## **2.0 Summary of Review**

This review outlines what has happened since the original 2007 plan was approved and discusses the way forward on a number of fronts.

### **Changes Between 2007 and 2018**

There have been no large scale changes within the conservation area since the 2007 document. There have been changes outside the conservation area boundary. Holcombe/Mondi Mill has been partly removed. The buildings removed were unattractive 20<sup>th</sup> century structures, with the 19<sup>th</sup> century stone buildings and a large part of the chimney retained together with parts of the original mill race. An Aldi supermarket has been built alongside Railway Street. This is close to the existing 20<sup>th</sup> century Tesco and Morrisons stores and completes the development within a triangle of land. It is a low level building using elevations in stone and render and is to the south and west of the conservation area. The Aldi, Tesco and Morrisons buildings are located on flat land in the bottom of the valley and currently have limited impact on long distance views into and out of the conservation area, though nearby views have been altered. These changes have had only marginal influence on the area's historic significance. The character of the main shopping streets, Bolton and Bridge Street, appears to have been maintained, and there has been some movement to expand the retail and service shops into areas such as Square Street and Smithy Street.

Out of character changes to residential properties in the wider conservation area have continued and this is an area that is raising concern for the protection of the area's character and needs to be addressed. These generally involve the alteration of window frames and doors, and the forming of car parking spaces in front gardens. The scale of these changes is beginning to impact upon the area's significance. Fortunately, in most cases the shape of window openings does not appear to have been altered, and the visual rhythm of many terraces is still maintained in most areas. There



have also been some positive changes that have reinforced the character of the area. The 2007 document also listed a number of issues that now need to be reviewed and this is covered below.

Overall, the character of the conservation area has not materially changed.

## Issues

In 2007 the following issues were raised –

- Concern over empty buildings including the former Co-op on Bolton Street, parts of the Cobden Mill site, the stone former workshop/bleach works on Kay Brow and Irwell Bridge Mill.
- The adverse impact of the removal of walls and creation of parking hard standings in front gardens.
- The adverse impact of detailed alterations to buildings, including windows and doors, dormers, flues, air conditioning units and satellite dishes.
- The visual clutter created by a combination of highway signage, private signs, banners, and large commercial bins.
- The gradual move away from pure retail uses in the main shopping centre, and the fairly quick turnover of tenancies.
- The appearance of the empty 1960s/70s former police station on Bridge Street.

Since 2007 the following changes have taken place –

- The vacant Old Dun Horse has been converted to apartments.
- Holcombe/Mondi Mill has been largely removed and that part to the west of the river Irwell is a development opportunity site.
- The Aldi supermarket has been built on Railway Street.
- The 20<sup>th</sup> century former police station has been removed and planning permission for an appropriate development has been granted.
- The Ladybird nursery has been built on Carr Street
- The former Atlas engineering works has been converted into a micro-brewery.
- The Grants Arms Hotel has closed. This is a grade II listed building that has been a hotel since 1828. Planning permission and listed building consent has recently been granted for office use for part of the building combined with the building's restoration, and work has begun on site.
- Irwell Bridge Mill has been partly retained and restored.
- More apartments have been, and are being, built and converted at the Cobden Mill site on Square Street/Kay Brow.
- Out of character alterations to window frames and doors, and the creation of parking hard standings, continue.
- The impression of a continuing move away from retail uses in the town centre and more cafes, bars and restaurants.

Controls over the alteration of shop fronts and signs appear to be working in that no/few out of character changes have taken place, and no new external roller shutters have been approved (though there is one example of unauthorised installation). There has been some good new work to retail frontages particularly on Bridge Street, Square Street and Smithy Street. However, there are a number of first floor window frames in shop units which are inappropriate. It is also important to ensure that the quality of signage continues to be in line with the character of the conservation area.

Some empty buildings that were causing concern in 2007 have now been brought back into use or work is underway, notably Irwell Bridge Mills and Cobden Mill. The former Co-op continues to be a longstanding problem. The upper floors in this property have been empty for some time and although the roof was repaired in approximately 2000, it is unfortunate that such an important

building remains empty. The Grants Arms Hotel ceased trading in 2017, but proposals for a partial new use have now come forward.

Some sympathetic new development has taken place, including the continued development of the Cobden Mill site, the building now occupied by the Ladybird Nursery building on Carr Street, and small scale residential infill on Square Street and the creation of the Irwell Street brewery. The police station has been removed and planning permission has been granted for a 3 storey residential and retail unit.

On balance, change has been positive over the last 11 years.

In the residential areas away from the centre there has been further change to windows and doors particularly. Many new window frames are fixed too far forward in openings, are of poor sections and designs and are harmful to the character of streets and terraces. There has been little change in issues such as signage clutter, the condition of the highway, the public realm and green spaces. Improvements in these areas may not be feasible whilst Bury Council has made serious cuts in yearly budgets since 2008.

The main areas for thought in the future 5 to 10 years are –

- The use and the condition of the former Co-op and the remaining unused part of the Grants Arms Hotel.
- The possibility of further change in the use of existing retail units, and the subsequent loss of independent traders on the main streets.
- The continuing decline of the character of residential properties.
- The future development of the Mondi/Holcombe Mill site and its impact on the town and the conservation of its heritage.
- Measures to secure good signage design associated with commercial premises.

### **3.0 Discussion/Recommendations**

The 2007 plan holds true today. Many of the issues raised then are still current. The plan put forward 25 policies/actions, some outlining how development and change should be guided through the planning permission process (policies 1 to 12), others highlighting areas and sites that could be enhanced (policies 13 to 23), and finally specific sites where action is needed. As outlined above, some objectives outlined in 2007 have been met, but the 2007 policies should remain in place. Policy 17 referred to grants from the Council for restoration work, but these are not now available. Some particular actions are discussed below.

The policies referred to are appended to the review report in the background papers.

Policy 9 recommended stronger controls over alterations to dwellings. This was not approved at the time, as a period of further scrutiny was recommended, but this is now crucial to the future protection of the area's significance. These controls should be efficiently targeted, so that the impact on area residents and officer time is the minimum necessary to secure the protection of the area's heritage. The current priority should be controls over windows and doors, and possibly limited to the main visible elevations, but all the options available require some further survey work and investigation before any proposal is put forward for consultation. The creation of front garden car parking areas, particularly on Dundee Lane and Crow Lane, have damaged the character of parts of those streets. Other streets are vulnerable to similar alterations and additional controls should cover this type of work. Additional controls should be accompanied by more detailed design guidance and help to locate suitable suppliers and contractors. The need to provide additional design advice given in policy 18 in 2007 has not been followed. This is an issue for most of the Borough's conservation areas and Borough wide guidance would be the most efficient approach. Also, without resources to undertake enforcement of the controls, action on additional controls would be pointless.

Policy 3, 6 and 14 encouraged the protection and restoration of shop etc frontages. Protection appears to have been achieved since 2007 but some frontages altered in the 1960s/1970s and early years of the conservation area are inappropriate and should be adjusted when the opportunity arises. This should be a policy that the Council holds a firm line on. In addition, many upper floor window frames on Bolton Street and Bridge Street (for eg) have been altered with out-of-character insertions. These are in sharp contrast to the new frames that were fixed with the help of grant aid in the early 2000s. Again, effort should be made to restore these frames in these main road locations, and enforcement action taken when unauthorised frames are inserted; most of the upper floors do not have the permitted development rights that allow window changes without the need for planning permission.

It will also be prudent to consider additional protection for signage associated with shops and commercial frontages to best protect the character of the main streets. In addition to enforcement where permission has not been sought, there are some options that the Council can consider. Some adverts have deemed consent, and this can be restricted within an area with the approval of the Secretary of State. Discontinuance action can also be taken in particular cases and for particular sites. The Council could also apply for an Area of Special Control to enforce a stricter regime of advert control and this allows some adverts to be removed after a certain period. All these options have processes and regulations to be followed and will require consultation, justification and review. If there is a wish to act then this area requires further detailed investigation.

The town centre appears to be changing with a move towards servicing the residents and visitors with cafes, tea shops, bars and restaurants. The make-up of a successful town centre can sometimes be difficult to understand but without the independent shops along the main streets the day-time draw of the centre may decline. This either is a problem, or may become one. The current Development Plan has policies in place to protect the mix of uses in the main streets of shopping centres. The plan was approved in 1997 and is currently being reviewed. As part of this process the shopping area in Ramsbottom needs to be the subject of a study to understand the current situation and trends, and to establish the best way forward for its mix of uses, and how an economically successful town centre, and enhanced conservation area, can be maintained.

Policy 4 covered development affecting the setting of the conservation area. It stated 'The development or redevelopment of land outside but on the boundary or affecting the setting of the conservation area should be carefully controlled to ensure that its character is protected. Some sites that are affected in this way include the Health Centre, Carr Street, and the main site of the former Mondi works.' The latter is now largely cleared and awaiting action on its redevelopment. The three remaining stone buildings and chimney stack are within the conservation area, the main site is outside but forms an important part of the conservation area setting. The future use, activity and appearance of the site will have an impact on the character of the conservation area. It is important that any development proposals that come forward are based on a heritage assessment to ensure that the significance of the conservation area and its setting is fully understood and not harmed. This should be one of the first actions to be undertaken before any design concepts are considered. From a conservation area stand point the main impacts will be along the site boundaries to Bridge Street/Bury New Road and along the access road feeding Acre Bottom, parallel with the East Lancs Railway. Views into and across the site will also be important. It should be noted that but for a small area the treed east bank of the River Irwell north of the Mondi site is not part of brownfield land and its development should not be seen as acceptable. The above comments do not exclude all other appropriate planning policies and considerations required to assess any development. In the interim, the condition of the Victorian buildings on site should be monitored. A dialogue between the Council and the land owner has begun.

The 2007 plan considered views into and out of the conservation area via the main roads and from vantage points. An alternative way of entering and leaving the town is via the East Lancs Railway. Views from the railway near the station are pleasant. Some north and south of the station are unattractive, due to former and current industrial, storage or transport sites. Whilst part of the town's character is in its industrial roots, the appearance of the town from the railway should be taken into account when any proposals come forward for land near to or within views from the railway.

The former Co-op and the Grants Arms Hotel will need to be closely monitored to ensure that every opportunity is taken to secure their future and their use. The Co-op is a long standing problem that was an issue from the beginning of the conservation area's existence, with only the ground floor in use. Its roof was repaired around 2000 and minimum works undertaken and it may be considered to be watertight. Efforts by the Council to promote its re-use in the past have not been successful. It is suggested that the Council should be more proactive in seeking new uses for the unused part of the building. The Grants Arms Hotel has been closed since 2017 and a number of proposals have been discussed the most recent being the now approved conversion of the southern part of the building to office use. It should be borne in mind that this is the most important listed building in the Market Place and the town centre and it should be strongly protected and brought back into full use as soon as practicable. The Council should not consider any further proposals unless they are based on a thorough and detailed heritage statement produced by an appropriate professional.

The Council as local planning authority does have some limited powers to try to ensure that historic buildings are not neglected and efforts are made to secure appropriate uses. However, any final action requires the Council to find funds to carry out actions and at a time of funding difficulty most Councils are reluctant to initiate the use of their powers. The former Co-op building is of such importance to the character of the town that the future use of such powers should not be ruled out.

## **Area Boundary**

The conservation area boundary has been extended in the past and in 2007 it was considered in detail and extended further. On inspection and research for this paper no grounds were found to alter the boundary again.

## **Recommendations**

In addition to the recommendations approved in the 2007 document and from the discussion and conclusions in the last section of this review, the following additional actions are recommended. The actions should be subject to appropriate consultation.

- The introduction of an Article 4 Direction (please see policy 9 in the 2007 management plan) increasing the controls over alterations etc to dwellings, the exact nature of the controls to follow a survey and assessment of the area threats. The work should include more detailed design guidance and assistance with information on building suppliers and contractors. This action will be subject to consultation in the area.
- Continued application of strong policies to protect the character of shop fronts and signage in the area and priority given to the restoration of shop fronts and upper floor windows along the main streets. Investigate and consider the additional powers for advertisement and signage control.
- For the Council to study the uses and changes in the make-up of the town centre attractors and services, and to consider appropriate policies for Bury's developing Local Plan that would ensure the successful future of the town centre and the protection and enhancement of the conservation area.
- To ensure that development proposals for the Mondi site are produced in accordance with published Historic England guidance and particularly in the preparation of a thorough and complete heritage assessment, and a development proposal that follows this assessment and protects the significance of the conservation area and its setting. The development of

the site could greatly enhance the economic, environmental and social viability of the town and be sensitive to the character of its townscape.

- To ensure that proposed developments within view of the East Lancs Railway protect and enhance the character of the conservation area and its setting.
- To continue to monitor the situation with both the former Co-op and the Grants Arms Hotel, and to strictly apply both national and local planning policies to ensure that their significance, and that of the conservation area, is not harmed and is protected and enhanced. The Council to be proactive in seeking to secure new uses for the unused former Co-op floor space.

#### **4.0 Resources**

The report and the additional actions put forward in paragraph 3 raise the issue of resources. The reports on Bury Town Centre and the other 10 conservation areas also recommend actions that have resource implications. The Council's growth agenda may also require support in this work area.

Since 2012 there has been no Conservation Officer post on the establishment. The Development Management officers have dealt with applications with heritage importance, but there has not been an opportunity to carry out any proactive work or to undertake any heritage supporting activities in the borough. Since summer 2016 additional work has been undertaken by a part-time consultant heritage advisor who has concentrated on the review of the conservation areas and the production of the local list of buildings of special architectural or historic interest, and advised on applications and enforcement.

An officer on the establishment is currently receiving part-time building conservation training at UCLan with the view of him taking over heritage duties during 2019. The workload of the officer will need to be reviewed in the context of the LPAs duty via statute for conservation areas, listed building and ancient monuments, and the additional actions recommended in all the 3 committee reports.

Government regulations ring fence planning fees for development management officer time. Also, any additional workload via any new controls using Article 4 Directions will also result in income from planning fees. However, it is recommended that resource implications of the necessary work programmes are regularly monitored.

#### **5.0 Conclusion**

This report supports the policies and actions of the 2007 plan and identifies additional actions that are necessary to ensure that the character and appearance, and what is special about Ramsbottom Conservation Area, are protected and enhanced.

---

#### **List of Background Papers:-**

Original Conservation Area Appraisal and Management Plan for Ramsbottom 2007.  
Review of Ramsbottom Conservation Area January 2019.  
National Planning Policy Framework 2018.



**Contact Details:-**

Mick Nightingale  
Consultant Heritage Officer  
Strategic Planning and Economic Development  
Department of Resources and Regulation  
3 Knowsley Place  
Duke Street  
Bury  
BL9 0EJ

**Tel:**

**Email:** [m.nightingale@bury.gov.uk](mailto:m.nightingale@bury.gov.uk)

# **Review of Ramsbottom Town Centre Conservation Area Appraisal and Action Plan. January 2019**

## **Introduction/Background**

The conservation area was designated in 1977 and extended in 1998 and 2004, and the original appraisal/action plan was published in 2007 (prepared by The Architectural History Practice Ltd). The 2007 boundary also included the Tanners area of Ramsbottom, which had previously been a separate conservation area. The 2007 document followed research and an assessment of the area and consultation with residents and local groups. It outlined the history of the area, the qualities of its architecture and environment, and put forward proposals for accommodating change and ensuring that the character of the area was preserved and enhanced. The management plan also resulted from meetings of a small working group involving the Ramsbottom Heritage Society. It was published in booklet form in 2011.

In the early 2000s the area benefitted from a Heritage Economic Regeneration Scheme which grant aided the restoration of a number of buildings. This was followed by a small grants scheme run by the Council, but which was abandoned due to the need for budget savings in 2008.

Heritage England, the primary heritage advisory body in England, and other heritage bodies, recommend that appraisals and plans are regularly reviewed and updated. In the intervening 11 years since this plan was approved there have also been changes to national conservation guidance. Bury Council has decided, in this context, to undertake a quick review all of its conservation area appraisals/action/management plans. These reviews concentrate on key issues. The area has now been re-surveyed (January 2018).

It is not necessary within the review to revisit the history and origins of the area. It may be necessary to review what is significant about the area's heritage, as this may help to guide future decisions on proposed changes. It will be important to note what has happened since 2007 and how successful the action plan has been. The review should note threats to the area's character and opportunities for its enhancement, and make recommendations about the way forward. The review should also consider if the current area boundary requires adjustment.

The main areas of the review are : -

## **Area Significance 2018**

### **Changes from 2007 to 2018 - Issues**

### **Accommodating Change/Threats and Opportunities**

### **Area Boundary**

### **Recommendations**

The words shown in coloured italics below are extracts from the 2007 action plan report. The full 2007 document can be found on the Council's website at

<https://www.bury.gov.uk/CHttpHandler.ashx?id=9069&p=0>

## **Area Significance 2018**

The following extracts give a broad picture of the area character as seen in 2007. The 2007 document also looked at 11 character areas in more detail, and under separate headings it also considered the area landscape, open spaces, the public realm, building materials and features, doors and windows, roofs, shop fronts and signage.

*Ramsbottom is located about five miles north of Bury in Greater Manchester, on the edge of the West Pennine Moors. It is a good example of a Pennine textile town which developed around the manufacturing and processing of cotton in the late 18th and early 19th centuries. The town and its industry prospered from around 1800 to the early part of the 20th century. After a period of decline and the loss of many mill buildings, the conservation of the town's heritage has helped to build on its role as a visitor and shopping destination, and a popular stop on the East Lancs heritage railway.*

*Ramsbottom is situated on the lower slopes of the upper Irwell Valley, five miles north of Bury and less than two miles from a motorway junction on the M66. The town lies on ground that is between approximately 140 and 240 metres above sea level and sited just north of the coal measures, which fuelled later steam-powered industry. The underlying geology of the town is carboniferous sandstone, a reliable building stone.*

*The population within the ward (covering an area larger than the conservation area) of Ramsbottom is currently approximately 14,600. Industry still provides an important source of employment and economic activity for the town, although this is not significant within the Conservation Area. There is a thriving retail core in the town centre, and the restored East Lancashire Railway is an important focus for tourism. Ramsbottom has become a popular commuter town for Manchester, supporting a buoyant housing market; 86% of the population are owner-occupiers. There is a growing market for residential conversions in former public, industrial and commercial buildings.*

*Ramsbottom's physical character and historical development is related to its situation on the sides of the Irwell valley; the rivers and streams of the surrounding West Pennine moors provided the water for textile processes and the power for the town's early industrial development. The urban form of the Conservation Area is focussed on the dense, compact central area around the Market Place, with more suburban development to the south and east. The sloping site of the town has influenced the distinctive pattern of terraced streets built in the late 19th century both along and across the contours; this is particularly noticeable around Albert and Victoria Streets, in Tanners and along Peel Brow, Fern Street, Fir Street and Eliza Street to the east. The town also has many ginnells, alleys and footpaths that run between the streets and link to courtyards.*

*The town centre is characterised by its dense development. The commercial buildings on Bridge Street, and towards the north end of Bolton Street are generally built up to the back of the pavement. Narrow streets and alleyways add to the tight and intimate feel of the conservation area in the town centre; Back Bridge Street is a good example. The dense grain of development is also the result of building plots being mostly short and narrow, resulting in a high building to space ratio, to narrow frontages and a generally vertical emphasis in the street scene. Surviving mill buildings provide a robust, canyon-like character to some streets, such as Garden Street. The density of the central area is relieved by a few open areas, either formal around the churches, or informal, for example, Bridge Street Riverside and on the west side of Bolton Street opposite the former Baptist Chapel. The distinction between private and public space is not always evident. Lower building densities along the south part of Bolton Street, and on Bury New Road and in parts of Tanners ensure that domestic gardens make a significant contribution to the character of these areas. The spatial character of a residential street is often an indication of its historic status; the simplest workers' housing was densely built up to the back of the pavement with no more than a rear yard, such as in St Paul's*

Street, and there is an example of the former back-to-back cottages off Nuttall Lane. Better quality and later terraced housing was built with narrow front gardens behind low walls; for example on Peel Brow and Crow Lane. Higher status houses had extensive garden areas such as the stone villas on Bury New Road. There is a sharp contrast between the dense, spatial character of the town and the openness of the moors beyond. When seen in longer views, this adds to the drama of the town's setting and its attractiveness.

Typically buildings are small scale and predominantly 2-storey. This unifies the appearance of the town, and contributes strongly to the intimate and domestic qualities of the Conservation Area. The prevailing low scale also allows the larger buildings, particularly churches, mills and mill chimneys, such as the tall brick chimney at Holcombe Mill to stand out above the roof tops. The topography has created some dramatic changes in scale; for example the rear of the former co-operative buildings on Bolton Street is 6 storeys high, and Numbers 1 to 13 Lodge Street are built on a steep slope, with storage areas at the lower level and a terrace above, from where the residents can enjoy fine views across the town.

The hilly topography provides dramatic views into and out of the conservation area, visually connecting the town to the moorland beyond. For example, from St Andrew's Church north-east across the town and valley, and from many of the terraced streets, there are fine views out of the town. From the Riverside Park, there are attractive views upriver along the Irwell. Good views into the town from outside are possible from Peel Monument on the moors to the west. To the east of the Conservation Area, the A56 and M66 motorway run north to south along the valley side and provide glimpses of Ramsbottom from above. Views of the hills to the east are affected by the significant stone quarrying still active in Fletcher Bank Quarry. Peel Brow provides an excellent viewpoint across the conservation area from the east. Views into and across the town are punctuated by key landmarks; particularly St Paul's Church, the Holcombe Mill chimney, Kay's Soap Works chimney and St Andrew's Church. Key visual gateways into the town are Peel Brow, Bury New Road and the Irwell Bridge from the east, Stubbins Lane, Ramsbottom Lane and Market Place from the west and Bolton Road West from the south, where the principal gateway is the junction with Dundee Lane. Although Ramsbottom town centre is densely built-up, there are significant green spaces and areas of mature planting which soften the otherwise hard urban form and provide an important amenity for residents and visitors.

Ramsbottom Conservation Area is a generally well preserved area which has suffered relatively little recent large-scale and dramatic change within its boundaries. There has been some loss of character due to the removal of mills during the 20th century, to individual changes to shop fronts during the 1960s/1970s, and to the increase in street clutter and from the results of increased commercial activity. Though there has also been conversion and restoration of buildings that have added greatly to the area's character and success. Changes to the external appearance of dwellings have occurred. The changes, which have taken place to individual properties, however, could easily be compounded, and the result would be serious erosion of the character of the area. When alterations, which seem minor in themselves become widespread, cumulatively they can have a far-reaching effect on the appearance of the area. Alterations to, and the deterioration of, properties have begun to have a damaging effect. The area has altered over recent times due to both natural and man-made change to its landscape, trees and spaces. Drawing attention to the special features of the place and setting this in an historic framework is seen as a way of highlighting what is best about the area to help inform both public authorities and individual owners so they can avoid works which might erode the special qualities of the area. Erosion of detail has taken place with the removal of chimneys and the introduction of metal flues and satellite dishes; the replacement of original doors and windows; changes to roofing materials; and the introduction of porches and of unsympathetic fencing and replacement garden walls.

Comment: There have been no large scale changes within the conservation area since the 2007 document. There have been changes outside the conservation area boundary. Holcombe/Mondi Mill has been partly removed. The buildings removed were unattractive 20<sup>th</sup> century structures, with the 19th century stone buildings and a large part of the chimney retained together with parts of the original mill race. An Aldi supermarket has been built alongside Railway Street. This is close to the existing 20<sup>th</sup> century Tesco and Morrisons stores and completes the development within a triangle of land. It is a low level building using elevations in stone and render and is to the south and west of the conservation area. The Aldi, Tesco and Morrisons buildings are located on flat land in the bottom of the valley and currently have limited impact on long distance views in to and out of the conservation area, though nearby views have been altered. These changes have had only marginal influence on the area's significance. The character of the main shopping streets, Bolton and Bridge Street, appears to have been maintained, and there has been some movement to expand the retail and service shops into areas such as Square Street and Smithy Street. Out of character changes to residential properties have continued and this is an area that is raising concern and needs to be addressed. These generally involve the alteration of window frames and doors. The scale of these changes is beginning to impact upon the area's significance. Fortunately, the shape of window openings do not appear to have been altered, and the visual rhythm of many terraces is still maintained in most areas. There have also been some positive changes that have reinforced the character of the area. The 2007 document also listed a number of issues that now need to be reviewed and this is covered below.

Overall, the character of the conservation area has not materially changed.

## **Changes from 2007 to 2018 - Issues**

In 2007 the following issues were raised –

- Concern over empty buildings - the former Co-op on Bolton Street, parts of the Cobden Mill site, the stone former workshop/bleach works on Kay Brow and Irwell Bridge Mill.
- The adverse impact of the removal of walls and creation of parking hard standings in front gardens.
- The adverse impact of detailed alterations to buildings, including windows and doors, dormers, flues, air conditioning units and satellite dishes.
- The visual clutter created by a combination of highway signage, private signs, banners, and large commercial bins.
- The gradual move away from pure retail uses in the main shopping centre, and the fairly quick turnover of tenancies.
- The appearance of the empty 1960s/70s former police station on Bridge Street.

Since 2007 the following changes have taken place –

- The vacant Old Dun Horse has been converted to apartments.
- Holcombe/Mondi Mill has been largely removed and that part to the west of the river is a development opportunity site.
- The Aldi supermarket has been built on Railway Street.
- The 20<sup>th</sup> century former police station has been removed and planning permission for an appropriate development has been granted.
- The former Atlas engineering works have been converted into a micro-brewery.
- The Ladybird nursery has been built on Carr Street
- The Grants Arms Hotel has closed. This is a grade II listed building that has been a hotel since 1828. Planning permission and listed building consent has recently been granted for



office use for part of the building combined with the building's restoration, and work has begun on site.

- Irwell Bridge Mill has been partly retained and restored.
- More apartments have been, and are being, built and converted at the Cobden Mill site on Square Street/Kay Brow.
- Out of character alterations to window frames and doors, and the creation of parking hard standings, continue.
- The impression of a continuing move away from retail uses in the centre and more cafes, bars and restaurants.

Controls over the alteration of shop fronts and signs appear to be working in that no/few out of character changes have taken place, and no new external roller shutters have been approved (though there is one example of unauthorised installation). There has been some good new work to retail frontages particularly on Bridge Street, Square Street and Smithy Street. However, there are a number of first floor window frames in shop units which are inappropriate. It is also important to ensure that the quality of signage continues to be in line with the character of the conservation area. Some empty buildings that were causing concern in 2007 have now been brought back into use or work is underway, notably Irwell Bridge Mills and Cobden Mill. The former Co-op continues to be a longstanding problem. The upper floors in this property have been empty for some time and although the roof was repaired in approximately 2000, it is unfortunate that such an important building remains empty. The Grants Arms Hotel has ceased trading but proposals for a partial new use have come forward. Some sympathetic new development has taken place, including the continued development of the Cobden Mill site, the building now occupied by the Ladybird Nursery building on Carr Street, and small scale residential infill on Square Street and the creation of the Irwell Street brewery. The police station has been removed and planning permission has been granted for a 3 storey residential and retail unit. On balance, change has been positive over the last 11 years.

In the residential areas away from the centre there has been further change to windows and doors particularly. Many new window frames are fixed too far forward in openings, are of poor sections and designs and are harmful to the character of streets and terraces. There has been little change in issues such as signage clutter, the condition of the highway, the public realm and green spaces. Improvements in these areas may not be feasible whilst Bury Council has made serious cuts in yearly budgets since 2008.

The main areas for thought in the future 5 to 10 years are –

- The use and the condition of the former Co-op and the remaining unused part of the Grants Arms Hotel.
- The possibility of further change in the use of existing retail units, and the subsequent loss of independent traders on the main streets.
- The continuing decline of the character of residential properties.
- The future development of the Mondri/Holcombe Mill site and its impact on the town and the conservation of its heritage.
- Measures to secure good signage design associated with commercial premises.

## **Accommodating Change/Threats and Opportunities**

Within the introduction to the Management Plan, the 2007 report outlined the following background to its proposals -

*Ramsbottom Conservation Area is a generally well preserved area which has suffered relatively little recent large-scale and dramatic change within its boundaries. There has been some loss of character due to the removal of mills during the 20th century, to individual changes to shop fronts during the 1960s/1970s, and to the increase in street clutter and from the results of increased commercial activity. Though there has also been conversion and restoration of buildings that have added greatly to the area's character and success. Changes to the external appearance of dwellings have occurred. The changes, which have taken place to individual properties, however, could easily be compounded, and the result would be serious erosion of the character of the area. When alterations, which seem minor in themselves become widespread, cumulatively they can have a farreaching effect on the appearance of the area. Alterations to, and the deterioration of, properties have begun to have a damaging effect. The area has altered over recent times due to both natural and man-made change to its landscape, trees and spaces. Drawing attention to the special features of the place and setting this in an historic framework is seen as a way of highlighting what is best about the area to help inform both public authorities and individual owners so they can avoid works which might erode the special qualities of the area.*

*Erosion of detail has taken place with the removal of chimneys and the introduction of metal flues and satellite dishes; the replacement of original doors and windows; changes to roofing materials; and the introduction of porches and of unsympathetic fencing and replacement garden walls. Conservation policies recognise that change takes place and that individuals wish to improve their properties and environment. What the policies seek to do is to guide the way changes are made so that the traditional character of the area is preserved. It is intended that design guidance will be prepared to guide residents in altering or extending their homes in the area. This will be produced as general advice and will also cover other Conservation Areas. Some basic interim guidance is given in this booklet.*

*The appraisal has also highlighted opportunities to make positive changes in the area, to remove blight and deterioration and to reinforce and restore the area's special character. As indicated above, this section sets out a management plan for the Ramsbottom Conservation Area. These proposals should be read in conjunction with the appraisal of the designated area, set out in pages 6 to 66, and with the Council's booklet Conservation Areas of Bury which provides general advice. The proposed policies and recommendations are intended to preserve the character and appearance of the Conservation Area, to assist in managing change without compromising the historic environment, and to put forward proposals for its enhancement.*

*The plan is divided into three sections.*

Comment. The 2007 plan holds true today. Many of the issues raised then are still current. The plan put forward 25 policies/actions, some outlining how development and change should be guided through the planning permission process (policies 1 to 12), others highlighting areas and sites that could be enhanced (policies 13 to 23), and finally specific sites where action is needed. As outlined above, some objectives outlined in 2007 have been met, but the 2007 policies should remain in place. Policy 17 referred to grants from the Council for restoration work, but these are not now available. Some particular actions are discussed below.

Policy 9 recommended stronger controls over alterations to dwellings. This was not approved at the time, as a period of further scrutiny was recommended, but this is now crucial to the future protection of the area's significance. These controls should be efficiently targeted, so that the impact on area residents and officer time is the minimum necessary to secure the protection of the area's heritage. The current priority should be controls over windows and doors, and possibly limited to the main visible elevations, but all the options available require some further survey work and investigation before any proposal is put forward for consultation. The creation of front garden car parking

areas, particularly on Dundee Lane and Crow Lane, have damaged the character of parts of those streets. Other streets are vulnerable to similar alterations and additional controls should cover this type of work. Additional controls should be accompanied by more detailed design guidance and help to locate suitable suppliers and contractors. The need to provide additional design advice given in policy 18 in 2007 has not been followed. This is an issue for most of the Borough's conservation areas and Borough wide guidance would be the most efficient approach. Also, without resources to undertake enforcement of the controls, action on additional controls would be pointless.

Policy 3, 6 and 14 encouraged the protection and restoration of shop etc frontages. Protection appears to have been achieved since 2007 but some frontages altered in the 1960s/1970s and early years of the conservation area are inappropriate and should be adjusted when the opportunity arises. This should be a policy that the Council holds a firm line on. In addition, many upper floor window frames on Bolton Street and Bridge Street (for eg) have been altered with out-of-character insertions. These are in sharp contrast to the new frames that were fixed with the help of grant aid in the early 2000s. Again, effort should be made to restore these frames in these main road locations, and enforcement action taken when unauthorised frames are inserted; most of the upper floors do not have the permitted development rights that allow window changes without the need for planning permission.

It will also be prudent to consider additional protection for signage associated with shops and commercial frontages to best protect the character of the main streets. In addition to enforcement where permission has not been sought, there are some options that the Council can consider. Some adverts have deemed consent, and this can be restricted within an area with the approval of the Secretary of State. Discontinuance action can also be taken in particular cases and for particular sites. The Council could also apply for an Area of Special Control to enforce a stricter regime of advert control and this allows some adverts to be removed after a certain period. All these options have processes and regulations to be followed and will require consultation, justification and review. If there is a wish to act then this area requires further detailed investigation.

The town centre appears to be changing with a move towards servicing the residents and visitors with cafes, tea shops, bars and restaurants. The make-up of a successful town centre can sometimes be difficult to understand but without the independent shops along the main streets the day-time draw of the centre may decline. This either is a problem, or may become one. The current Development Plan has policies in place to protect the mix of uses in the main streets of shopping centres. The plan was approved in 1997 and is currently being reviewed. As part of this process the shopping area in Ramsbottom needs to be the subject of a study to understand the current situation and trends, and to establish the best way forward for its mix of uses, and how an economically successful town centre, and enhanced conservation area, can be maintained.

Policy 4 covered development affecting the setting of the conservation area. It stated 'The development or redevelopment of land outside but on the boundary or affecting the setting of the conservation area should be carefully controlled to ensure that its character is protected. Some sites that are affected in this way include the Health Centre, Carr Street, and the main site of the former Mondi works.' The latter is now largely cleared and awaiting action on its redevelopment. The three remaining stone buildings and chimney stack are within the conservation area, the main site is outside but forms an important part of the conservation area setting. The future use, activity and appearance of the site will have an impact on the character of the conservation area. It is important that any development proposals that come forward are based on a heritage assessment to ensure that the significance of the conservation area and its setting is fully understood and not harmed. This should be one of the first actions to be undertaken before any design concepts are considered. From a conservation area stand point the main impacts will be along the site boundaries to Bridge Street/Bury New Road and along the access road feeding Acre Bottom, parallel with the East Lancs Railway.

Views into and across the site will also be important. It should be noted that the treed east bank of the River Irwell north of the Mondi site is not part of brownfield land and its development should not be seen as acceptable. The above comments do not exclude all other appropriate planning policies and considerations required to assess any development. In the interim, the condition of the Victorian buildings on site should be monitored. A dialogue between the Council and the land owner has begun.

The 2007 plan considered views into and out of the conservation area via the main roads and from vantage points. An alternative way of entering and leaving the town is via the East Lancs Railway. Views from the railway near the station are pleasant. Some north and south of the station are unattractive, due to former and current industrial, storage or transport sites. Whilst part of the town's character is in its industrial roots, the appearance of the town from the railway should be taken into account when any proposals come forward for land near to or within views from the railway.

The former Co-op and the Grants Arms Hotel will need to be closely monitored to ensure that every opportunity is taken to secure their future and their use. The Co-op is a long standing problem that was an issue from the beginning of the conservation area's existence, with only the ground floor in use. Its roof was repaired around 2000 and minimum works undertaken and it may be considered to be watertight. Efforts by the Council to promote its re-use in the past have not been successful. It is suggested that the Council should be more proactive in seeking new uses for the unused part of the building. The Grants Arms Hotel has been closed since 2017 and a number of proposals have been discussed the most recent being the approved conversion of the southern part of the building to office use. It should be borne in mind that this is the most important listed building in the Market Place and the town centre and it should be strongly protected and brought back into full use as soon as practicable. The Council should not consider any further proposals unless they are based on a thorough and detailed heritage statement produced by an appropriate professional.

The Council as local planning authority does have some limited powers to try to ensure that historic buildings are not neglected and efforts are made to secure appropriate uses. However, any final action requires the Council to find funds to carry out actions and at a time of funding difficulty most Councils are reluctant to initiate the use of their powers. The former Co-op building is of such importance to the character of the town that the future use of such powers should not be ruled out.

## **Area Boundary**

The conservation area boundary has been extended in the past and in 2007 it was considered in detail and extended further. On inspection and research for this paper no grounds were found to alter the boundary again.

## **Recommendations**

In addition to the recommendations approved in the 2007 document (outlined in the appendix below) and from the discussion and conclusions in the last section of this review, the following additional actions are recommended.

- The introduction of an Article 4 direction (please see policy 9 in the 2007 management plan below) increasing the controls over alterations etc to dwellings, the exact nature of the controls to follow a survey and assessment of the area threats. The work should include more detailed design guidance and assistance with information on building suppliers and contractors. This action will be subject to consultation in the area.





and that of the conservation area, is not harmed and is protected and enhanced. The Council to be proactive in seeking to secure new uses for the unused former Co-op floorspace.

## **Appendix. Policies in the 2007 Plan**

The following are approved policies which still apply to the conservation area. Changes to government legislation and guidance, and in grant arrangements, have taken place since 2007 and these may affect the terminology used.

### **7.2 Policies to Protect the Area's Character**

#### **Policy 1**

All proposals for demolition, re-development, re-building, change of use or other alteration of land and premises in the conservation have to be considered in the light of the statutory duty to preserve and enhance the conservation area. With this duty in mind, there will be a presumption against the demolition of all listed buildings and those referred to within the management plan as significant or making a positive contribution to the area's character.

#### **Policy 2**

Proposals for the change of use of residential property, for the development of open land, for the over-development of land and garden areas, and for the unnecessary removal of trees, will be resisted.

#### **Policy 3**

Where planning permission or conservation area consent is required, the following proposals should be resisted - over-large, prominent, or out of character extensions and porches; out of character dormer windows; non-traditional materials; the external cladding and rendering of walls, out of character building alterations; loss of historic building fabric; removal of outbuildings; inappropriate shop/office frontages, shutters and non-traditional signage, the building of out-of-character gates and walls, the provision of car parking in front gardens, and the location of satellite dishes in prominent locations.

#### **Policy 4**

The development or redevelopment of land outside but on the boundary or affecting the setting of the conservation area should be carefully controlled to ensure that its character is protected. Some sites that are affected in this way include the Health Centre, Carr Street. and the main site of the former Mondi works.

#### **Policy 5**

Boundary walls, gates and railings are particularly important to the character of the area and should not be removed or altered.

#### **Policy 6**

The small shop use and character of the town centre shall be protected and the Council's policy 'Shop Fronts and Signs 2004' shall be strictly enforced. Traditional shop fronts shall not be altered other than to enhance their character.

#### **Policy 7**

Planning and conservation area consent applications will only be acceptable if the submitted

information is clear, complete and comprehensive and includes full drawings of the proposals and a thorough design and access statement. The Council will expect any proposal for a development within the Conservation Area to include an analysis of the surrounding area and justification of why the proposals are appropriate in the context of the area's character. Proposals should respond to the surrounding development in terms of scale, height, massing, detail and materials. All proposals should protect or enhance the character and appearance of the Conservation Area.

#### **Policy 8**

Large, intrusive and prominent flues, extract and ventilation systems, and air conditioning fittings shall be resisted where they will be harmful to the area's character and appearance. Systems should be masked or hidden within traditional architectural features.

#### **Policy 9**

The Council has approved additional planning controls covering dwellings in one conservation area within the Borough as a pilot study. This is currently being monitored. There is no current approval to introduce additional planning controls in Ramsbottom. However, there are some particularly sensitive areas in the town where the alteration of dwellings could damage the quality of the area. The area will be monitored and further control will be sought if changes begin to further damage area character. If approved, additional controls would normally cover;

- n Replacement of windows and doors
- n Removal or concealment of architectural detail
- n The enlargement or creation of new exterior openings
- n Demolition or lowering of chimney stacks
- n Alterations to roof shapes and changes to roofing materials
- n The rendering or cladding of external walls, and the painting of brick and stone
- n The erection of satellite dishes
- n The demolition or erection of boundary walls, railings, fences and gates
- n The creation of hardstandings
- n The addition of extensions, porches or outbuildings.

#### **Policy 10**

Important views, vistas, and glimpses of the area between buildings, and controlled by important features, should be protected from damage by development.

#### **Policy 11**

Trees make a significant contribution to the character of this conservation area. They are protected from removal by both the conservation area status and particular tree preservation orders. The Council will generally resist proposals to cut down, top or lop trees that contribute in this way. When trees are removed or die they should be replaced with new trees of appropriate species and size.

#### **Policy 12**

The detail of street lighting, signage and highway surfaces and details are all important to the area's character. Changes to these elements can have a significant positive or negative impact on the historic environment. The presumption to preserve or enhance the character of the area should apply to works on the highway, and full and appropriate consultation should to take place prior to any such works being undertaken.

## **7.3 Policies and Actions for Enhancement**

### **Policy 13**

Opportunities should be taken to restore, rectify and rationalise elements of the public realm, the highway, street lighting and to enhance the character of the area. Street clutter can be rationalised, highway surfaces can be restored and unauthorised changes rectified, and street lighting can be replaced. This can be done through a long term programme that requires limited budget commitment each year, or through externally funded one-off projects.

### **Policy 14**

Opportunities should be taken to achieve shop front and signage restoration and replacement. This can be done when private development proposals are put forward or through available grant schemes.

### **Policy 15**

Schemes for the masking and replacement of existing extract and ventilation flues, and air conditioning units should be developed and implemented.

### **Policy 16**

Large open areas of car parking should be enhanced in a manner to reduce their intrusion into the area's character.

### **Policy 17**

A scheme for grant aid for the repair and restoration of buildings in conservation areas has been approved in line with the Council's procedures. The scheme is aimed at reducing the burden of additional costs, though not at making large contributions to normal maintenance requirements. Rates of grant will reflect the nature of the work and the level of funding available. Subject to availability and a number of conditions and thresholds, grants may be available for the following works –

- n Essential repairs to stone and brick external walls and roof coverings, including chimney stacks
- n Repair and restoration of gutters and downpipes
- n Structural repairs
- n Re-pointing
- n Repair and replacement of window frames and external doors
- n Reinstatement of architectural elements
- n Repair, restoration and extension of boundary walls, gates and railings
- n Fees associated with grant-aided works.

Applications for grant aid will be made on a standard form and must be accompanied by a clear description of the work, possibly including detailed drawings etc, together with itemised competitive prices/estimates.

### **Policy 18**

In support of both the additional controls and the approved grant system, written advice is to be prepared and issued to assist the area residents in their proposals to extend, alter and repair their properties. Interim guidance is included within this published management plan document, and the Conservation Officer can be contacted to discuss requests for design advice. Until such time as comprehensive guidance is prepared, the Council supports the following broad interim guidance:

- (a) Repair of traditional and decorative external woodwork is preferable to replacement. Window sills/details which require repair should be cut out and replaced with new matching timber pieces joined in a traditional way. Where windows and doors have deteriorated beyond repair, consideration should be given to having new units made to the original design, rather than to replace them with modern standardised alternatives. Replacement windows and doors should be in timber, which should be painted. External joinery should be painted rather than stripped or stained. Stained glass windows should be preserved and supplemented with secondary double glazing.
- (b) Where possible new alarm box and satellite dish fittings should be mounted just below eaves level and at the rear or side of the property. Main elevations should remain uncluttered. See-through mini satellite dishes cause the least harm.
- (c) If re-roofing is required, salvageable slates/tiles should be reused where possible, the balance being made up of reclaimed material. The use of concrete tiles or synthetic 'slates' can be inappropriate. Where possible semi-detached houses and terraces should be re-roofed as a whole to preserve a unified appearance.
- (d) Chimney stacks should be retained although the flues may not be in use and pots retained or replaced. Steel flues located in roofs are out of character with the area.
- (e) Where replacement of rainwater goods is necessary, off the shelf PVC-u is seldom appropriate. There are convincing copies of cast iron and timber sections in other materials that are lighter, less expensive and are easy to maintain. The installation of additional and new pipe work on the front or primary elevations should be avoided.
- (f) External stone or brickwork should not be painted or rendered and, if they are to be cleaned, an appropriate non-abrasive method should be used.
- g) Careless and dominant re-pointing of stonework can seriously affect the appearance and weathering of the property, and the work should only be entrusted to an experienced contractor using a weak to medium lime mortar mix, and traditional pointing methods.
- (h) Existing boundary walls, fences and gateposts should be retained and protected from removal and relocation. In some streets, proposals to create car hardstandings by removing walls and gates should be resisted. In others, designs should take great care not to lose this part of the area's heritage.

### **Policy 19**

When considering planning applications and development proposals the duty to enhance the conservation area may be addressed through the achievement of the following – the planting of trees and hedges where appropriate; the provision or reinstatement of walls and railings, reinstatement of doors and windows and other original architectural detail.

### **Policy 20**

The Ramsbottom Heritage Society and the Greater Manchester Archaeological Unit have in the past undertaken archaeological investigations and excavations in the conservation area. It is proposed that a programme of priority work is researched and established and supported by the Council from existing resources. This may assist in investigations to identify the origins of Ramsbottom and support proposals for interpretation.

### **Policy 21**

The Council will seek financial support from grant giving bodies for Conservation Area enhancement where the proposals meet the grant criteria.

### **Policy 22**

The Council will consider the nature and character of Ramsbottom Conservation Area when considering proposal for the repair and upgrading of the highways and street furniture.

**Policy 23**

The history of the town is partly explained by information boards, blue plaques, trails and booklets, and the Heritage Society has proposals for further boards at important sites. The Council should work with the local community to implement a programme of interpretation within the town.

**7.4 Site Specific Proposals****Policy 24**

Specific buildings within the area cause concern due to their condition, appearance or under-use. Proposals should be brought forward to re-use, protect, repair or replace such buildings, including the following:

*Irwell Bridge Mills, Kenyon Street*

*Former Co-op upper floors, 51-53 Bolton Street*

*Former Mondi Buildings within conservation area*

*Former bleach works, opposite Cobden Mill, Kay Brow*

*Cobden Mill (part), Square Street*

*Civic Hall, upper floor*

*Police Station, Bridge Street*

**Policy 25**

The cabins/containers located on the car park, the site of the market, are visually intrusive and their replacement/relocation should be investigated.

MN May 2018 and updated January 2019



# REPORT FOR DECISION

<b>DECISION OF:</b>	<b>PLANNING CONTROL COMMITTEE</b>
<b>DATE:</b>	<b>26 MARCH 2019</b>
<b>SUBJECT:</b>	<b>REVIEW OF CONSERVATION AREA PLANS</b>
<b>REPORT FROM:</b>	<b>DEVELOPMENT MANAGER</b>
<b>CONTACT OFFICER:</b>	<b>Mick Nightingale</b>
<b>TYPE OF DECISION:</b>	<b>COUNCIL</b>
<b>FREEDOM OF INFORMATION/STATUS:</b>	This paper is within the public domain
<b>SUMMARY:</b>	Most conservation areas have an appraisal and management plan. These are now up to 14 years old. This report outlines a mini-review of the plans for 10 conservation areas and the recommendations put forward for each area.
<b>OPTIONS &amp; RECOMMENDED OPTION</b>	The Committee is recommended to approve in principle the actions in the report.
<b>IMPLICATIONS:</b>	
<b>Corporate Aims/Policy Framework:</b>	Do the proposals accord with the Policy Framework? N/A
<b>Statement by the S151 Officer: Financial Implications and Risk Considerations:</b>	Executive Director of Resources to advise regarding risk management N/A
<b>Statement by Executive Director of Resources:</b>	N/A
<b>Equality/Diversity implications:</b>	N/A
<b>Considered by Monitoring Officer:</b>	N/A
<b>Wards Affected:</b>	ALL
<b>Scrutiny Interest:</b>	N/A

**TRACKING/PROCESS****DIRECTOR:**

Chief Executive/ Strategic Leadership Team	Executive Member/Chair	Ward Members	Partners
Scrutiny Committee	Committee	Council	

**1.0 Background**

Bury Council as the local planning authority has a statutory duty to preserve and enhance the character of its conservation areas. This should be done in line with the guidance in the National Planning Policy Framework 2018 and the Council's own local planning policies. An understanding of the significance of each conservation area is central to these responsibilities.

From 2004 to 2011 Bury Council produced conservation area appraisals and management/action plans for 10 of its 12 conservation areas with the aim of better preserving and enhancing their character. The plans were the subject of consultation and Council approval and full details now appear on the Council's website.

Historic England, the primary heritage advisory body in England, and other heritage bodies, recommend that appraisals and plans are regularly reviewed and updated. In the intervening 14 years since the first plans were published there have also been changes to national conservation guidance the most recent being the National Planning Policy Framework 2018. In this context, it has been decided to undertake a quick review all of the conservation area appraisals/action plans.

This report covers the 10 most straightforward reviews. The main body of this report provides summaries for each area. Full reviews are attached as background documents. Each review is a stand-alone document and covers the following conservation areas.

Ainsworth Village. Original management plan 2004.  
 Mount Pleasant Conservation Area. Original plan 2004.  
 Poppythorn Conservation Area. Original plan 2005.  
 All Saints Conservation Area, Whitefield. Original plan 2006.  
 St Mary's Conservation Area, Prestwich. Original plan 2007.  
 Holcombe Village Conservation Area. Original plan 2010.  
 Brooksbottoms/Rowlands Conservation Area. Original plan 2010.  
 Summerseat Conservation Area. Original plan 2010.  
 Pot Green Conservation Area. No previous plan.  
 Walmersley Conservation Area. No previous plan.

Separate reports have been prepared for Bury Town Centre and Ramsbottom Conservation Areas where issues are more complex and where it is necessary for more complete assessments to be presented and discussed.

## **2.0 Summary of Mini-Reviews**

### **Ainsworth Village**

Since 2004 there has been no loss of important buildings and the village's relationship with the surrounding open land remains unchanged. However, there have been alterations to dwellings/buildings since the original appraisal in 2008 and these have not respected the original character of the area. The main changes involve the replacement of windows and doors. Prior to 2008 there had also been fairly extensive changes to windows and doors. In combination, these changes have led to a serious decline in character and significance of the conservation area.

The review concludes that the use of a targeted Article 4 Direction, which had been discussed in 2004, should now be re-considered. This will bring some small alterations to dwellings under planning control. How best to target these additional controls to minimise impact on the area residents whilst protecting area character will need to be the subject of further assessment and local consultation.

### **Mount Pleasant**

The review found that the main issues were the condition of the sett roadway and of stone walls, the continued lack of car parking, the impact of the increase in areas of dense woodland, and the closure of the Lord Raglan. The following recommendations have been made.

1. To continue with the current policies for the extension/alteration of buildings and fabric, and to be vigilant in terms of scheme detail and in enforcement.
2. To engage with the residents group to discuss the 2004 action plan, this review, and the way forward. It is possible that the group could access funds that are not available to the Council and which can be used to resolve some outstanding matters.
3. To prioritise consideration of proposals for the substantial removal of trees in the woodland areas, to reinstate and protect views, and to secure an agreed future management regime. Liaison will therefore be required with Council's Parks and Countryside Unit.
4. To monitor the situation with the Lord Raglan and following discussions with local residents produce a basic brief for the future use of the building and the site.

### **Poppythorn, Prestwich**

The review's conclusion is that the area is generally well preserved but that there has been some decline in area character due to alterations to dwellings since the appraisal in 2005/06. For example the west side of Guest Road has been adversely affected by the use of poorly detailed UPVC window frames whilst the east side is generally well preserved. There are many original features that remain, and now appears to be the time to give consideration to increasing controls over external changes to dwellings to ensure that the special character of the area does not decline further. Similar concerns were raised in the action plan of 2006. Consideration should be given to targeted controls via an article 4 Direction. This will require local consultation. There is one other concern and that is Poppythorn Cottage which currently appears to be empty and in poor condition. Its future is currently being discussed with the owner and agents. No other actions are currently required.

### **All Saints, Whitefield**

The review shows a gradual change in the character of part of Bury New Road. In the area to the south of the Metrolink station there has been a loss of residential use and a strengthening of commercial, retail and restaurant/bistro use. This has been due to increased demand for car parking, probably in conjunction with the impact of the Metrolink station, and to a change in building

facades and signage that is an inevitable result of differing use requirements. In response to parking issues a residents' only parking scheme has been introduced in the Hamilton Road area.

The 2006 plan referred to the appearance and condition of the hearse house on Church Lane. This has now been restored and its frontage improved.

The plan also recommended the upgrading of the car park at the former Masons Arms. There has been some work to re-organise and lay-out the car park, which, together with the ground floor extension to the Slattery's premises has helped to improve the general appearance of the site.

The plan referred to the need to improve the relationship and accessibility between Hamilton Road Park and the grounds of the Uplands. This cannot be addressed until the future and detail of the Uplands site is clear.

The future of the Uplands and its grounds was a concern in 2006. The Uplands building is owned by Bury Council. It is a large 19<sup>th</sup> century former dwelling which has been extended and altered during the 20<sup>th</sup> century. It is considered to be a significant building within the conservation area, is currently empty, and has recently suffered from a severe decline in the condition of the interior due to the ingress of water. It abuts a local health centre which is still in use. It also stands within large grounds containing trees, shrubs and areas of car parking. The site is not maintained and the overgrown nature of the trees and shrubs has now become an issue for environmental, landscape and safety reasons. The 2006 report indicated that a development brief may be required in the event of development proposals coming forward. There have been past discussions between the NHS and Bury Council about a scheme for the site which incorporated the Uplands building within a new health facility. Within the last few months the Council in discussion with the NHS has commissioned further studies, including a master-planning approach, with the aim of finding a solution to these outstanding issues. The result of these studies is awaited.

There is also a need to remove what remains of Whitefield House, the facade of which has stood in a derelict condition since 2006. A planning permission for the nursing home has been established but only in a minor way through the creation of a new foundation at the rear. The Council should approach the owner to seek action and should also undertake urgent works to improve the park around the site. The approach should look to address the immediate issue to remove the remnants of the building. In addition, the use of a master planning work, as described above, should look at the potential of the site to contribute to the wider development opportunities.

## **St Mary's, Prestwich**

The 2009 action plan recommended the implementation of an Article 4 Direction covering minor changes to residential properties. This was duly implemented. The plan gave some basic guidance on best practice in making changes. Unfortunately, there are instances of unauthorised changes that have harmed the character of the area.

There have been difficulties in both property owners following the policy and possibly, within the context of reduced resources, a lack of guidance and support from the Council in spelling out in more detail how meeting modern day requirements can be achieved whilst still protecting the area character. For example, Upvc windows are an issue. Suppliers will promote their own products and claim that they are appropriate within a heritage context. Owners follow this advice, and in some instances do not contact the Council and do not apply for the necessary permission. The work is undertaken and problems arise. However, there are some Upvc windows that could be acceptable. These provide high quality sliding sash frames in a matt finish which meet health and safety standards, provide a safe means of escape and appear to be broadly the same as 19<sup>th</sup> century timber frames. They are not significantly more costly than the standard frames seen in the area, many of which are totally out of character with the area's architectural traditions. Some owners have invested in expensive Upvc frames on the advice of suppliers when a different approach could have led to all requirements being met. Also, as an alternative, some top opening timber windows can be constructed to appear as sliding sash frames when they are closed. There are some examples where poorly designed versions of this approach, in Upvc, are found in the area. Good examples of windows that meet both heritage and modern day requirements have been approved and installed in the Council's other conservation areas. The continued

implementation of the Article 4 additional powers in St Marys requires a concerted effort and additional, and more detailed, guidance. If this is not forthcoming the special nature of the area will continue to decline.

Also there have been unauthorised alterations to commercial properties including the installation of roller shutters. The 2009 action plan referred to the need to take a clear and consistent approach to changes to the commercial properties along Bury New Road. As with windows in dwellings, better guidance needs to be issued on shop/cafe security and ways of upgrading security by using options other than shutters. If shutters are to be allowed a street scene policy should be designed to use the most appropriate shutter designs and other security measures. Internal shutters have been used successfully in other commercial situations in conservation areas. Opportunities for enforcement action should be followed through.

There is one main recommendation.

1. That a concerted effort is made to re-engage with the residents and owners in the conservation area to raise awareness of the decline in the intrinsic qualities of the area and the need to reverse that decline. This can be done by providing more information on the various options for making changes, greater detail of information and, if necessary, a strong line in enforcing unauthorised works.

## **Holcombe Village**

Two groups of actions were recommended in the 2010 plan. Firstly highway, street scene, public realm and visitor improvements, and secondly better protection, repair and use of historic properties, curtilages and land.

The first group requires a level of funding from the Council. Since the beginning of the regime of savings from 2008 onwards there has not been funding to invest in a programme of such works.

Progress has been made on the second group. Since 2010 the empty barn and cottage at Higher House have been brought back into use as a dwelling, and Higher House itself has benefitted from a scheme of restoration. However the carriage shed at Norcot still remains empty and appears to be neglected, and this position needs to be monitored. No other property in the conservation area requires restoration, though it is noted that part of the grade II\* Hey House has been empty for a considerable period.

Planning Control Committee approved the alteration to the conservation area boundary in 2011 following the production of the management plan. The plan also recommended the bringing in of additional controls to better protect the area from inappropriate alterations and extensions. To achieve this an Article 4 Direction has been approved by the Council, and following consultation this came into force in 2017. A period of settling-in is required before the impact of these additional controls can be seen. A review of this is recommended after 5 years. In other reviews it has been noted that although some general guidance has been issued by the Council covering the alteration and extension of buildings in conservation areas, further more detailed and targeted guidance is required to help residents to respond positively to the additional controls. No other action is recommended for this conservation area for the time being.

## **Brooksbottoms/Rowlands**

In addition to the loss of part of a listed structure, the former canteen at Hoyles Mill in the 2015 flood, and the damage of the Kay Street bridge, there has also been some additional decline in the area's character. There have been alterations to dwellings/buildings since 2010 and these have not respected the original character of the area. The main changes involve the replacement of windows and doors. Prior to 2010 there had also been fairly extensive changes to windows and doors, to roofing materials, the painting of external stonework, the loss of chimney stacks and the introduction of satellite dishes in prominent locations. These changes are fairly widespread and were identified as a threat to area character in the 2010 appraisal. In combination, they have led to



a serious decline in character and significance of the conservation area. The areas most affected are Hill Street, Castle Street, Moss Street, Kay Street and Queens Place, with some changes on Hamer Terrace, East View and Rowlands Road.

Due to a number of factors the character of the conservation area is seen to be at risk of further decline. Decline could be reversed if the following priority actions are taken.

- The implementation of an Article 4 Direction, combined with detailed and targeted design guidance, and specialist suppliers/contractor information. This will require local consultation.
- Action on taking forward the river bridge project and the potential for development of the brownfield car park site, the latter requiring a heritage assessment and design brief with heritage as its main priority.
- The need to investigate the future use and repair of the former railway goods shed on Rowlands Road and the restoration of the graveyard to the former Methodist Church.

## **Summerseat**

Since the 2010 plan there have been some changes. The vacant former Liberal club has been converted to restaurant use. A new car park on former industrial land on Robin Road has been created, and a residential development on the former print and dye works site (outside but on the boundary of the conservation area) accessed by bridge from Railway Street, is nearing completion. None of these developments have harmed area significance. However, any further development on open land accessed by the bridge from Railway Street would be seriously detrimental to the significance of the adjacent conservation areas. The conclusion is that there is also little or no capacity within or on the boundary of the conservation area for any further development.

Further changes to windows and doors have taken place to dwellings some of which have been harmful to area character. These have had the most impact on buildings adjacent to Railway Street and parts of Higher Summerseat, though the Robin Road cottages remain generally well preserved. Consideration should be given to now introducing targeted additional controls via an Article 4 Direction to stem further inappropriate alterations, and to providing more detailed and targeted guidance to help area residents respond positively to any additional controls. This will require local consultation.

Recently the poor condition of Summerseat House has become an issue. This is a grand former mill owner's residence and is a grade II listed building. It stands empty and within large grounds and is owned by the Council. It is important that urgent action is required to secure the future of the building. Appropriate studies are also required to consider how best to use and save the building and these should follow relevant guidance from the NPPF 2018 and Historic England, and be in line with good heritage principles and practice.

## **Pot Green**

Since its designation in 2004, there have been some changes to properties within the conservation area which have harmed its character. Upvc windows and doors have been introduced into a number of properties and many of these have been of poor design and appearance. This has had a significant impact on the character of the small cottages. Not all changes have had such a negative impact but to ensure that the situation does not deteriorate further consideration should be given to the Council introducing targeted additional controls via an Article 4 Direction. The area is small enough for this to be achieved using the minimum of resources. Again, local consultation will be required.

## **Walmersley**

The conservation area was designated primarily to save the former brewery complex from deterioration and removal. It also contains the site of Christ Church and a former church school. In 2005/06 proposals were submitted for the conversion of some of the brewery buildings together with some demolition and redevelopment. This involved 23 new mews, semi-detached and apartment units. Work on site was protracted and severely delayed until a new developer took over. Work was completed and the units occupied in 2014/2015. The scheme retained some of the brewery buildings, though the chimney and some ancillary buildings were lost and replaced. The planning permission restricted unauthorised alterations to the completed development to ensure that the character of the conservation area would not be damaged in the future.

The planning permission appears to have been implemented in accordance with the approved scheme and no additional/alterations have been carried out. There is no further action to be undertaken in this part of the area. However, a watching brief should be carried out in relationship to the former school buildings at the rear of Christ Church as these are showing signs of deterioration.

### **3.0 Discussion/Recommendations**

The main issue to be drawn from these reviews is the loss of special character that has resulted from the culmination of many small changes, currently outside the control of the LPA, that have visually damaged many areas. This is not consistent with the LPA's duty to preserve and enhance the character of each conservation area. This report recommends action to control such changes for the Ainsworth, Poppythorn, Brooksbottoms/Rowlands, Summerseat and Pot Green Conservation Areas. The detailed issues may be slightly different for each area and it is recommended that an assessment is made for each area and to target action at the most significant issues. In this way resources are used most efficiently and effectively, and general permitted development rights of property owners are not unjustifiably removed.

Officers should prepare and implement a programme of Article 4 Directions for residential properties in the above conservation areas.

For the St Mary's, Prestwich, and Holcombe Conservation Areas it is recommended that the Council is vigilant in management control and enforcement dealing with the existing Article 4 Directions and general planning controls. Generally, the reviews raise the need for more detailed guidance for the alteration etc of buildings. This goes hand-in-hand with the additional controls.

Specific actions are underway in a number of conservation areas largely to save and re-use important buildings or to monitor empty buildings. In these circumstances the protection of each building's heritage significance, and that of the conservation area, should be given the highest priority.

Most of the action plans included proposals for environmental and street scene enhancement. Due to budget savings over a number of years there has been no investment by the Council in this area.

The original conservation area appraisal and action plans were the subject of public consultation. The current recommendations are consistent with the original action plans and it is not currently proposed to consult in general on these reviews. However, consultation is part of the Article 4 Direction process and this will be followed in line with government guidance.

### **4.0 Resources**

The report and the additional actions put forward in paragraph 3 raise the issue of resources. The reports on Bury Town Centre and Ramsbottom conservation areas also recommend actions that have resource implications. The Council's growth agenda may also require support in this work area.

Since 2012 there has been no Conservation Area Post on the establishment. The Development Management officers have dealt with applications with heritage importance, but there has not been

an opportunity to carry out any proactive work or to undertake any heritage supporting activities in the borough. Since summer 2016 additional work has been undertaken by a part-time consultant heritage advisor who has concentrated on the review of the conservation areas and the production of the local list of buildings of special architectural or historic interest, and advised on applications and enforcement.

An officer on the establishment is currently receiving part-time building conservation training at UCLan with the view of him taking over heritage duties during 2019. The workload of the officer will need to be reviewed in the context of the LPAs duty via statute for conservation areas, listed building and ancient monuments, and the additional actions recommended in all the 3 committee reports.

Government regulations ring fence planning fees for development management officer time. Also, any additional workload via any new controls using Article 4 Directions will also result in income from planning fees. However, it is recommended that resource implications of the necessary work programmes are regularly monitored.

## **5.0 Conclusion**

This report supports the policies and actions of the original plans and identifies additional actions that are necessary to ensure that the character and appearance of all 10 conservation areas are protected and enhanced.

---

### **List of Background Papers:-**

Review of Ainsworth Village Conservation Area. Dec 2018.  
Review of All Saints Conservation Area. Dec 2018.  
Review of Brooksbottoms/Rowlands Conservation Area. Dec 2018.  
Review of Holcombe Village Conservation Area. Dec 2018.  
Review of Mount Pleasant Conservation Area. Dec 2018.  
Review of Poppythorn Conservation Area. Dec 2018.  
Review of St Mary's Conservation Area. Dec 2018.  
Review of Summerseat Conservation Area. Dec 2018.  
Review of Pot Green Conservation Area. Dec 2018.  
Review of Walmersley Conservation Area. Dec 2018.

National Planning Policy Framework 2018.

### **Contact Details:-**

Mick Nightingale  
Consultant Heritage Officer  
Strategic Planning and Economic Development  
Department of Resources and Regulation  
3 Knowsley Place  
Duke Street  
Bury  
BL9 0EJ  
**Email:**[m.nightingale@bury.gov.uk](mailto:m.nightingale@bury.gov.uk)

## **Review of Ainsworth Village Conservation Area. December 2018.**

From 2004 to 2011 Bury Council produced conservation area appraisals and management plans for 10 of its 12 conservation areas with the aim of better preserving and enhancing their character. The plans were the subject of consultation and Council approval and full details now appear on the Council's website.

Historic England, the primary heritage advisory body in England, and other heritage bodies, recommend that appraisals and plans are regularly reviewed and updated. In the intervening 14 years since the first plans were published there have also been changes to national conservation guidance the most recent being the National Planning Policy Framework 2018. Bury Council has decided, in this context, to undertake a quick review all of its conservation area appraisals/action plans. In the case of Ainsworth, and based on the 2018 assessment, a mini-review only is required. The full assessment of area significance and detailed discussion of area character in the 2008 document still applies.

### **Ainsworth Village**

Ainsworth Village Conservation Area was originally designated in 1973. A draft Conservation Area Appraisal document was presented to the local community in October 2007 to seek its views on the issues to be considered when developing a strategy for the area. These were taken into account when the Local Area Partnership considered a report in January 2008 and when Planning Control Committee approved a range of actions in February 2008. The Management Plan was first published in booklet form in 2008. The management plan policies are appended to this report.

Ainsworth is a good example of a village which developed initially as a farming community, but expanded during the industrial period. The village grew during the 19th century as a result of the development of local stone quarrying and the spinning, weaving and bleaching of cotton, although there were no textile works within the boundary of the conservation area. The village now has a linear form, spread along the main east-west road (the B6196) between Bolton and Bury, a road that pre-dates the early 19th century turnpike, built to the south. Subsidiary streets and lanes lead into the fields to the south and north; many of these lanes are un-metalled which contributes to the rural character of the village. The place name of Ainsworth is Anglo-Saxon, with "worth" meaning a small enclosure or farmstead, and the prefix probably being the name of a land owner. Historically the village was also known as 'Cockey', now the name of the moor to the east of the village.

The 2007 appraisal of the Conservation Area undertook a review of the area boundary. A number of extensions to the Conservation Area were put forward at that time. These were considered as part of the community consultation and the assessment of the proposals by the Council. The boundary of the Conservation Area was extended by Planning Control Committee in February 2008. The extensions included a large part of Greenside, 1 to 15 Victoria Street, and open land at the Delph.

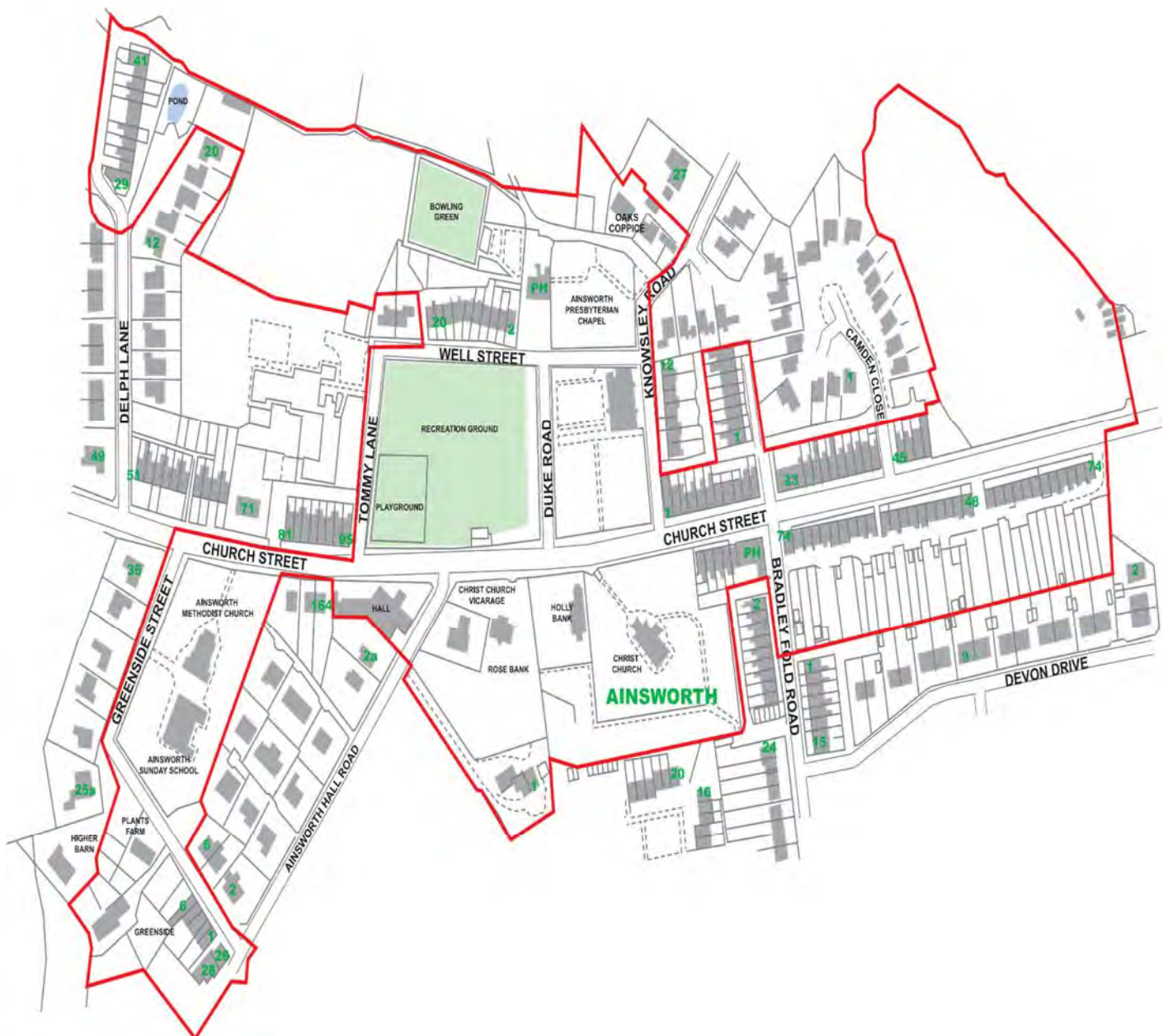
The website link for the 2007 report is

<https://www.bury.gov.uk/CHttpHandler.ashx?id=4758&p=0>

In 2008 the issues raised for action were to protect the current land and building uses from change, and particularly green spaces, trees, hedges which are important to the village's relationship with the open land that encloses it. There was concern to resist the demolition of important buildings and not to lose the character of the village through the alteration of properties. The plan did offer some guidance for the alteration and repair of properties but also referred to the possibility of the Council implementing increased powers of control if the character of the area declined due to the unsympathetic alteration of dwellings. The plan

also indicated some possible enhancement proposals to improve the street scene and areas of open land.

The area has been re-surveyed (January 2018) and compared with images of 2009 and 2012. The conclusion is that there has been no loss of important buildings and that the village's relationship with the surrounding open land remains the same. There have been alterations to dwellings/buildings since 2008 and these have not respected the original character of the area. The main changes involve the replacement of windows and doors. In combination, these changes have led to a serious decline in character and significance of the conservation area. Indeed it is hard to find any original/early windows or doors or appropriate replacements in the area that are not in the area's listed buildings. A decision is required to either accept this level of loss or to try to reverse this significant decline by introducing additional controls over such alterations (please see the reference to Art 4 Directions in the 2008 management plan below, after policy 13). No other actions are currently required.



The appendix below contains the policies approved as part of the 2008 review and management plan. These still apply to the conservation area. Changes to government legislation and guidance, and in grant arrangements, have taken place since 2008 and these may affect the terminology used and the funding available.

## **Appendix. 2008 Management Plan Policies**

### **6.2 Policies for the Control of Development**

The following policies are directed at ensuring that change is in sympathy with the area's character. These should be read in conjunction with the Council's booklet, Conservation Areas of Bury, which gives general guidance on conservation areas and explains when planning permission is required for the alteration and extension of dwellings. They should be taken into account when consideration is being given to proposed alterations and when guidance is required.

#### **Demolition of buildings**

Legislation provides for control over the demolition of buildings in conservation area (subject to various exceptions). Paragraph 4.27 of PPG 15 - Planning and the Historic Environment indicates that, "The general presumption should be in favour of retaining buildings which make a positive contribution to the character or appearance of a conservation area." It goes on to indicate that proposals to demolish such buildings should be assessed against the same broad criteria as proposals to demolish listed buildings (paragraphs 3.16 – 3.19 of PPG15). Control also extends to some boundary and garden walls.

Paragraph 5.3, identifies listed and other significant buildings within the designated area. These are generally the ecclesiastical buildings constructed in the nineteenth century, and the early or larger residential properties that are important to the village character. Paragraph 5.5 also identifies structures, particularly walls and gatepost that make a positive contribution to the townscape. There should be a presumption against the demolition or removal of all of these buildings and structures.

**Policy 1:** The Council will only grant conservation consent for the demolition of a significant building or a building or structure that makes a positive contribution to the townscape of the Conservation Area if it has been fully justified against the criteria laid out in PPG 15 paragraphs 3.16 – 3.19.

In addition, the Conservation Area includes a number of listed buildings, the demolition and alteration of which is also controlled by the provisions of the Planning (Listed Buildings and Conservation Areas) Act 1990.

#### **Trees**

Section 211 of the Town and Country Planning Act 1990, as amended, requires that anyone proposing to cut down, top or lop a tree in a conservation area must give six weeks notice to the local planning authority. The purpose of this requirement is to give the authority an opportunity to make a tree preservation order.



Trees make a major contribution to the character and appearance of the Conservation Area and to its setting. Some are already covered by tree preservation orders but it is recommended that the Council undertake a comprehensive tree survey of the whole of the Conservation Area, plus its setting, to determine whether additional tree preservation orders are required.

**Policy 2:** The Council will consider whether additional tree protection orders are required and will generally resist proposals to cut down, top or lop trees in the Conservation Area. However, when trees are removed or die they should be replaced with new trees of appropriate species and size.

### **Hedges**

Many of the properties in the Conservation Area have hedges along their boundaries and these are an important feature of the area, contributing to its character and appearance. Those along front boundaries are very important within the street scene, helping to delineate the public and private spaces.

**Policy 3:** Generally, the Council will discourage the removal of boundary hedges and, as part of proposals that require planning permission, the Council will resist the removal of hedges that contribute to the character or appearance of the Conservation Area.

### **Open Spaces and Gardens**

There are several areas of open space within the Conservation Area that are very important to its character. These are the Churchyards at the Unitarian Church, Christ Church, and Methodist Chapel; and the green areas at the Recreation Ground, the Delph, and the bowling green, and the space around the pond at Delph Lane. All these spaces also form part of views and vistas around the village and need to be protected from built development.

**Policy 4:** The Council will resist all proposals to develop the large open and green spaces within the Conservation Area with buildings, and also proposals that will adversely affect the important views and vistas within, out of, and into the Conservation Area.

The residential character of the area is largely established by the pattern of past development, which generally consists of terraced housing and some significant houses in large plots. The garden areas to these dwellings form an important part of the area's character and there should be a presumption against new residential development in the garden areas of existing dwellings.

**Policy 5:** The Council will resist proposals that would result in the development of garden areas to the detriment of the traditional character of the Conservation Area.

### **Land Use**

The character of the Conservation Area relies upon the existing pattern of land uses. Any major changes to these land uses will affect this character. New non-residential uses should not normally be permitted in those parts of the Conservation Area away from Church Street/Bury Old Road.

**Policy 6:** The Council will resist proposals for the change of use or character of existing residential land or buildings within the Conservation Area.

### **Commercial Uses**

Within the Conservation Area, non-residential uses cover ecclesiastical buildings, the community centre, the library, a shop and the Public Houses. The external alteration of these buildings together with any security and signage proposals can have a significant impact on the village character.

**Policy 7** The Council will resist proposals for the unsympathetic extension, alteration or signage proposals affecting the non-residential buildings in the Conservation Area. Discontinuance notices will be used in connection with poor or out of date signage.

### **Materials**

Traditional materials, such as natural stone and slate, used for the external walls and roofs of the buildings have established the character and appearance of the Conservation Area.

**Policy 8:** The Council will resist all proposals to construct or clad buildings with materials that are not traditional and appropriate to the appearance of the Conservation Area.

### **Dormer Windows**

Dormer windows are not a traditional feature in the Conservation Area. The introduction of dormer windows would damage the architectural qualities and overall appearance of the area.

**Policy 9:** The Council will resist all proposals that involve the construction of dormer windows.

### **Satellite Dishes**

The widespread erection of satellite dishes and radio equipment on buildings would have a detrimental impact on the appearance of the Conservation Area.

### **Policy 10:**

Where planning permission is required, the Council will resist all proposals that involve the erection of satellite dishes and radio equipment in prominent locations within the Conservation Area.

### **Extensions**

Extensions to buildings can be detrimental to their appearance either because of their location, size or design. Extensions (including porches and canopies) on the front or principal elevations of buildings should be avoided as these elevations have usually been either carefully designed or are part of a larger terrace unit. Extensions at the side or rear are generally to be preferred, except where these elevations have also been carefully designed or are prominent in the street scene. Extensions should be subordinate to the building to which they are attached, should use the same or complementary materials, and should reflect or complement its style and appearance.

**Policy 11:** The Council will resist proposed extensions that are too dominant, in a prominent location, or are otherwise detrimental to the character of the building to which they are attached, or to the character or appearance of the wider Conservation Area.

### **Planning Applications**

It is important that planning and conservation area consent applications are complete, comprehensive and clear in terms of the proposals put forward, and that they can be understood by the local planning authority and the community. Drawings and photographs should accompany planning applications and, amongst other matters, the design and access statements should explain why the proposals are considered to be appropriate within the Conservation Area. Guidance on what information is required to ensure the validation of applications is outlined on the Council's website [www.bury.gov.uk](http://www.bury.gov.uk)

**Policy 12:** Planning and conservation area consent applications will only be acceptable if the submitted information is clear, complete and comprehensive and includes full drawings of the proposals and a thorough design and access statement. The Council will expect any proposal for a development within the Conservation Area to include a full analysis of the surrounding area. Proposals should respond to the surrounding development in terms of scale, height, massing, alignment and materials. All proposals should protect or enhance the character and appearance of the Conservation Area.

### **Minor Alterations/Permitted Development**

Any work that materially affects the external appearance of a building requires planning permission, subject to permitted development rights. Under normal planning control certain works to dwellings are classified as permitted development and do not require planning permission. This includes small alterations and extensions, the erection of page 39 1: Title Here buildings, enclosures or pools required for a purpose incidental to the enjoyment of a dwelling house (such as a swimming pool), the provision of some hard surfaces, the erection of and alterations to boundaries, and changes to windows and doors. However, within conservation areas some developments (that in other areas would be permitted development) are not classified as permitted development. This includes various types of cladding; the insertion of dormer windows; and the erection of satellite dishes on walls, roofs and chimneys fronting a highway. Also, within conservation areas the size of extensions that may be erected without specific planning permission is also more restricted.

Work that affects the external appearance of a building can include the replacement of doors and windows, particularly if it involves a change in the design or the use of a modern material, such as plastic (PVC-u). The accumulative effect of door and window replacement, and other small scale changes, is beginning to damage the character and appearance of the Conservation Area. The effect of further alterations of this nature will seriously erode the special interest of the area, which is the reason for its designation.

**Policy 13:** Where planning permission is required, the Council will resist the replacement of doors and windows, and other changes, where the proposals would adversely affect the appearance of the building, and where the proposal would be detrimental to the character of the building or to the character of the wider Conservation Area.

Local planning authorities may remove (or apply for approval to remove) permitted development rights by way of an Article 4 Direction. This means that certain developments that would otherwise not require planning permission would be brought under control. This action has been considered as part of the appraisal and future plans but the consultation feedback did not give strong support to the action, and consequently an interim policy has been approved.

**Policy 14:** That the Council delay consideration of the implementation of an Article 4 direction (removing permitted development rights set out in Classes A, B, E, F and G of Part 1 of Schedule 2 of the Town and Country Planning (General Development Order) 1995) until (1) a design guide is prepared providing advice and guidance for residents on the subject of extensions and alterations and for use in connection with voluntary arrangements for compliance with good practice, and (2) the grant system referred to in Policy 15 is adopted.

### **Minor Alterations and Repair**

Until such time as comprehensive guidance is prepared, the Council supports the following broad interim guidance:

- (a) Repair of traditional and decorative external woodwork is preferable to replacement. Window sills which require replacement should be cut out and replaced with new matching timber pieces joined in a traditional way. Where windows and doors have deteriorated beyond repair, consideration should be given to having new units made to the original design, rather than to replace them with modern standardised alternatives. Replacement windows and doors should be in timber, which should be painted. External joinery should be painted rather than stripped or stained.
- (b) Where possible new alarm box and satellite dish fittings should be mounted below eaves level and at the rear or side of the property. Main elevations should remain uncluttered. See-through mini satellite dishes cause the least harm.
- (c) If re-roofing is required, salvageable slates should be reused where possible, the balance being made up of reclaimed material. The use of concrete tiles or synthetic 'slates' can be inappropriate. Where possible semi-detached houses and terraces should be re-roofed as a whole to preserve a unified appearance.
- (d) Chimney stacks should be retained although the flues may not be in use. Steel flues located in roofs are out of character with the area.
- (e) Where replacement of rainwater goods is necessary, off the shelf PVC-u is seldom appropriate. There are convincing copies of cast iron and timber sections in other materials that are lighter, less expensive and are easy to maintain. The installation of additional and new pipe work on the front or primary elevations should be avoided.
- (f) External stone or brickwork should not be painted and, if they are to be cleaned, a non-abrasive method should be used. Careless and dominant re-pointing of stone and brickwork can seriously affect the appearance of the property, and the work should only be entrusted to an experienced contractor using a weak to medium mortar mix, and traditional pointing methods.

(g) Existing boundary walls and gateposts should be retained and protected from removal and relocation. In some streets, proposals to create car hardstandings by removing walls and gates should be resisted. In others, designs should take great care not to lose this part of the area's heritage.

(h) When trees are removed or die they should be replaced with new trees of appropriate species and size.

### **Policies and Actions for Enhancement**

In addition to their responsibility for the preservation of conservation areas, local planning authorities are also required to propose policies and actions that will lead to enhancement. This can be achieved through both the development control process, as described above, or by proposing specific actions. Where a package of actions is proposed, implementation may depend, in large part, on successful bids for funding from outside the Council.

Many parts of the village are well looked after and the area benefits from a stable and high quality environment. There is little or no prospect of significant change or development within the Conservation Area, and the range of opportunities for significant improvement are limited. However, the following is proposed.

### **Grants Aid and Support from Bury Council**

The Council has an annual budget, approved each year, primarily to assist in the repair and restoration of listed buildings. The Council has now agreed to this being used in a similar way for buildings in Conservation Areas. The detailed implementation of the grant system is currently being designed, and this is to be directed at works that enhance the character of this and other Conservation Areas. The money available each year is not substantial and its use should be directed at assisting restoration of features such as windows and doors in individual buildings and in the repair and restoration of freestanding stone walls and railings. Other grants, either local or national, may become available for enhancement work in Conservation Areas. Where these could be made available, the Council will submit its own applications or support the community in its submissions.

**Policy 15:** The Council will support the restoration and repair of properties, boundary walls and railings through grant assistance, in line with the criteria and guidance within the approved grant system.

**Policy 16:** The Council will seek financial support from grant giving bodies and support the Ainsworth community in grant applications for Conservation Area enhancement where the proposals meet the grant criteria.

### **Design Guidance**

The Council is keen to see the character of the area protected when changes are made to buildings and land in the area. There is currently only limited written and drawn information available to help area residents and builders consider the best approach to changes and improvements.

**Policy 17:** The Council will produce design guidance for the extension and alteration of buildings in Conservation Areas.

## **Knowsley Road and the Unitarian Chapel**

The condition of Knowsley Road is extremely poor in the vicinity of the Unitarian Chapel and The Stables. Road levels are also causing concern for the condition of the chapel through the possible ingress of water into the basement of the building. The Chapel is a grade II\* listed building. Policy 18: The Council will work with the community to seek to solve the problems associated with Knowsley Road and its impact on the Unitarian Chapel.

## **Highways/Public Realm**

The appraisal, and community comment, has raised a range of issues associated with the highways in the village. There are differing views within the community about the upgrading and adoption of some of the unmade streets. Their improvement is also beyond current budgets without significant additional external funding. Comments have also been made about street lighting in the village, where replacement is also beyond current budgets. However, consideration can be given to changes that are affordable and are about good practice. This can, at the appropriate time, cover the materials and details of repair and upgrading of the streets, signage and street furniture and a more visually sympathetic form of traffic calming within the village.

**Policy 19:** The Council will consider the nature and character of Ainsworth Village and the Conservation Area when considering proposal for the repair and upgrading of the highways and street furniture.

## **Information and Interpretation**

Ainsworth has a long history and much remains from earlier times in the way of structures and spaces. The story of the village should be told through an information board in the village and a trail leaflet, which could also involve the surrounding settlements and farms. In addition, the management plan should be freely available in booklet form from both the Council and the community association.

**Policy 20:** In consultation with the community the Council will produce an information board and trail leaflet that will outline the history and character of the village, and will publish the management plan.

MN May 2018 and updated December 2018



## **Review of All Saints Conservation Area Appraisal and Action Plan. March 2019**

### **Introduction/Background**

The conservation area was designated in 2004 and the original appraisal/action plan was published in 2006 following research and an assessment of the area and consultation with residents and local groups. It outlined the history of the area, the qualities of its architecture and environment, and put forward proposals for accommodating change and ensuring that the character of the area was preserved and enhanced. It also put forward guidance for the alteration and extension of buildings. The website link to the 2006 plan is

<https://www.bury.gov.uk/CHttpHandler.ashx?id=2779&p=0>

Historic England, the primary heritage advisory body in England, and other heritage bodies, recommend that appraisals and plans are regularly reviewed and updated. In the intervening 12 years since this plan was published there have also been changes to national conservation guidance, most recently the National Planning Policy Framework 2018. Bury Council has decided, in this context, to undertake a quick review all of its conservation area appraisals/action plans. The area has now been re-surveyed.

It is not necessary within the review to revisit the history and origins of the area. It may be necessary to review what is significant about the area's heritage, as this may help to guide future decisions on proposed changes. It will be important to note what has happened since 2006 and how successful the action plan has been. The review should note threats to the area's character and opportunities for its enhancement, and make recommendations about the way forward.

The main areas of the review are : -

### **Area Significance 2018**

### **Changes from 2006 to 2018**

### **Threats and Opportunities**

### **Recommendations**

### **Area Significance 2018**

Much of what was written about the heritage significance of the area in 2006 still applies. This was covered under parts 5.1, Area Character, and 5.2, Character Areas in the 2006 document. In the latter the separate but interlinked parts of the area were described. The heritage significance of these areas remains, and justifies their continued protection. The 2006 document also looked at the area's Architecture and Significant Buildings (part 5.3), and Building Materials and Details (part 5.4), and in part 5.5 at Spaces, Views and Landscapes. Again, all these contribute positively today as they did in 2006, although with some minor amendment. Part 5.6 considered Negative Factors which acted against the area's conservation. Some of these issues have been addressed since 2006.

In one area, Bury New Road, there has been a gradual change moving away from residential use to retail and commercial use. This has had an impact on the character of the area. This and other changes to the area are outlined in more detail below.

## **Changes from 2006 to 2018**

The Management Plan part of the appraisal put forward a number of policies and actions. Any changes in the area can be reviewed in the context of these policies/actions. These policies are appended to this report. There were 3 groups; the control of development and recommended guidance; enhancement, and site specific actions.

### **Control of Development**

Policies 1 to 5 resist the loss of important buildings, trees, landscapes, the overdevelopment of sites, and changes in land uses, all of which would damage the character of the area. An assessment of over 70 planning permissions and other approvals granted by the Council between 2006 and 2018, and changes on site, has been undertaken. This shows no loss of valued buildings (please see comments on Whitefield House below), trees or landscapes. However, it does show a gradual change in the character of part of Bury New Road. In the area, to the south of the Metrolink station, there has been a loss of residential use and a strengthening of commercial, retail and restaurant/bistro use. This has led to increased demand for car parking, probably in conjunction with the impact of the Metrolink station, and to a change in building facades and signage that is an inevitable result of differing use requirements. The latter relates to policy 5 which is discussed further below.

Policies 6 to 12 cover design issues, intending to ensure that any addition and change protects the character of the area. Policy 11 refers to consideration of additional controls if current controls are insufficient. There has been very little change away from Bury New Road that could be said to threaten area character. Extensions have tended to be away from prominent views. Some Upvc windows of poor design and positioning have occurred, but in contrast some restoration and repair work of a good standard and design has been undertaken. There have been some changes to retail and commercial frontages and signage along Bury New Road, both in the north and south of the conservation area, and these have not always fully respected the design standards expected in a conservation area. There are also some recent examples of good individual conversions and designs. For example the extension and restoration of Slattery's (formerly the Mason Arms) and No 8 (formerly the Nat West Bank), and the conversion of the former Barclays Bank building to the Porada restaurant.

The boundary of the conservation area was adjusted in 2005 to include properties along Bury New Road to the south of the junction with Pinfold Lane and also on the east side opposite the Uplands. The terraces opposite and to the south of Slattery's were not included. Buildings outside but on the boundary of a conservation area can have an influence on the setting of the conservation area, where change can have either a positive or negative impact. Recent changes to premises involving the creation of two restaurants directly opposite Slattery's have had a positive impact.

### **Enhancement**

Policies 13 to 17 covered the need for good information to be submitted with proposals and for opportunities for restoration to be taken up when alterations are undertaken. There is some evidence of the reinstatement of lost traditional features, and some good examples of high quality new work can be cited.

Actions 1 to 4 were the responsibility of Bury Council, and involved providing design guidance, issues of parking, and the enhancement of the public areas. Some progress has been made in providing residents' only parking streets, though dwindling Council resources have impacted on other actions.

### **Site Specific Proposals**

Action 5 referred to the appearance and condition of the hearse house on Church Lane. This has now been restored and its frontage improved.

Action 6 referred to the need to improve the relationship and accessibility between Hamilton Road Park and the treed area within the Uplands. This cannot be addressed until the future and detail of the Uplands site is clear.

Action 7 covered the future of the Uplands and its grounds. The Uplands building is owned by Bury Council. It is a large 19<sup>th</sup> century former dwelling which has been extended and altered during the 20<sup>th</sup> century. The original management plan considered it to be a significant building within the conservation area, is currently empty, and has recently suffered from a severe decline in the condition of the interior due to the ingress of water. It abuts a local health centre which is still in use. It also stands within large grounds containing trees, shrubs and areas of car parking. The site is not maintained and the overgrown nature of the trees and shrubs has now become an issue for environmental, landscape and safety reasons. The 2006 report indicated that a development brief may be required in the event of development proposals coming forward. There have been past discussions between the NHS and Bury Council about a scheme for the site which incorporated the Uplands building within a new health facility. Over time options have been assessed but without significant progress being made.

Within the last few months the Council in discussion with the NHS has commissioned further studies with the aim of finding a solution to these outstanding issues. Part of this is to understand the significance of the building and whether more far reaching proposals can bring positive development that preserves or enhances the Conservation Area. Demolition should not be precluded, but clear assessment and justification must be undertaken to support any proposals and must meet the tests as set out in the respective Town & Country Planning (Listed Building & Conservation Area) Act 1990 as well as the National Planning Policy Framework.

Action 8 proposed the upgrading of the car park at the former Masons Arms. There has been some work to re-organise and lay-out the car park, which, together with the ground floor extension to the Slattery's premises has helped to improve the general appearance of the site.

Action 9 considered the future of Whitefield House and its relationship with the surrounding parkland. The building was sold by the Council to its current owner in 1996. By 2006 the building had been empty for some time and its condition had deteriorated. A number of proposals have been put forward by both the owner and the Council, but in 2010 there was a partial collapse of the main building and the main facade then had to be supported by a system of timber buttresses and scaffolding. The site around was also securely enclosed. A proposal for a 60 bed care home was approved for the site in 2011 and an application for the careful dismantling and storage of the facade was later approved, with the intention of rebuilding the facade as part of the new development. Due to market and ownership issues the development has not commenced in earnest (but the permission has been secured by a start on site). The facade has deteriorated further and there appears to be a risk of further collapse. Generally, the site has become an eyesore. The surrounding area of the park has also suffered from a lack of maintenance. As with the Uplands area, this is now creating a poor and potentially unsafe landscape.

## **Discussion on Threats and Opportunities**

In the context that action is underway on The Uplands, there are two key issues that require discussion. Firstly, the future of what remains of Whitefield House, and the wider/linked opportunities for development that arise from redundancy and pressure for action.

There is a need to remove the eyesore of the Whitefield House site. Planning permission has been implemented but only in a minor way through the creation of a foundation at the rear for a nursing home. It is unclear as to why the owner has not progressed the permission or indeed removes the ruinous fabric currently on site. The Council should approach the owner to seek this action and should also undertake urgent works to improve the park around the site. The approach should look to address the immediate issue to remove the remnants of the building. In addition, the use of a master planning exercise, as described above, should look at the potential of the site to either incorporate the land in wider opportunities or how the approved permission may contribute to future development opportunities around it.

Secondly, changes from residential to commercial use along Bury New Road have led to an increase in signage attached to modest former dwellings. This has had a detrimental impact on area character. The Council should ensure that controls over advertising are fully enforced.

## Recommendations

In addition to the recommendations approved in the 2006 document (outlined in the appendix below) it is recommended that the Council implements the proposals in the previous paragraphs and continues with the current policies for the extension/alteration of buildings and fabric, and be vigilant



in terms of scheme detail and in enforcement.

## Appendix. Policies in the 2006 Plan

The following are approved policies which still apply to the conservation area. Changes to government legislation and guidance, and in grant arrangements, have taken place since 2006, these may affect the terminology used plus there is ongoing dialogue seeking to bring improvements to the larger sites where opportunities exist. These will need special consideration accordingly.

### 6.2 Policies for the Control of Development

The following policies are directed at ensuring that change is in sympathy with the area's character. These should be read in conjunction with the Council's booklet, Conservation Areas of Bury, which gives general guidance on conservation areas and explains when planning permission is required for the alteration and extension of dwellings. They should be taken into account when consideration is being given to proposed alterations and when guidance is required.

#### Demolition of buildings

Legislation provides for control over the demolition of buildings in conservation area (subject to various exceptions). Paragraph 4.27 of PPG 15 - Planning and the Historic Environment indicates that, "The general presumption should be in favour of retaining buildings which make a positive contribution to the character or appearance of a conservation area." It goes on to indicate that proposals to demolish such buildings should be assessed against the same broad criteria as proposals to demolish listed buildings (paragraphs 3.16 – 3.19 of PPG15).

Fig. 11, page 15, identifies significant buildings within the designated area. These are generally the large detached villas constructed in the nineteenth century, which establish the character of the conservation area. It also identifies buildings that make a positive contribution to the townscape. There should be a presumption against the demolition of all of these buildings.

**Policy 1:** The Council will only grant conservation consent for the demolition of a significant building or a building that makes a positive contribution to the townscape of the Conservation Area (as identified on Fig. 11) if it has been fully justified against the criteria laid out in PPG 15 paragraphs 3.16 – 3.19).

In addition, the Conservation Area includes a number of listed buildings, the demolition and alteration of which is also controlled by the provisions of the Planning (Listed Buildings and Conservation Areas) Act 1990.

#### Trees

Section 211 of the Town and Country Planning Act 1990, as amended, requires that anyone proposing to cut down, top or lop a tree in a conservation area must give six weeks notice to the local planning authority. The purpose of this requirement is to give the authority an opportunity to make a tree preservation order.

Trees make a major contribution to the character and appearance of the Conservation Area and to its setting. Many are already covered by tree preservation orders but it is recommended that the Council undertake a comprehensive tree survey of the whole of the Conservation Area, plus its setting, to determine whether additional tree preservation orders are required. The following policy should apply:

**Policy 2:** The Council will generally resist proposals to cut down, top or lop trees in the Conservation Area. However, when trees are removed or die they should be replaced with new trees of appropriate species and size.

#### Open Spaces and Gardens

There are several areas of open spaces within the Conservation Area that are very important to its character. These include the churchyard around All Saints Church, Hamilton Road Park and the Stand Cricket Ground. All these spaces need to be protected from built development.

**Policy 3:** The Council will resist all proposals to develop the large open spaces within the Conservation Area with buildings.

In addition, Whitefield House and Uplands are surrounded landscaped grounds, which also need to be protected from inappropriate development. Specific proposals for these two properties are included in the final part of the plan.

The character of the area is largely established by the pattern of past development, which generally consists of substantial houses in large plots. Even Parklands, which is an area of twentieth century bungalows, has something of this character. Where proposals for re-development are acceptable under other policies, these should maintain the ratio of built-form (footprint and volume) to plot size that is typical of the area.

**Policy 4:** The Council will resist proposals that would result in the over-development of sites to the detriment of the traditional character of the Conservation Area.

#### Land Use

The character of the Conservation Area relies upon the existing pattern of land uses. Any major changes to these land uses will affect this character. At present, there are commercial uses along Bury New Road and the remainder of the area is residential. Non-residential uses should not be permitted in those parts of the Conservation Area away from Bury New Road.

#### Policy 5:

The Council will resist proposals for the change of use or character of existing residential land or buildings within the Conservation Area.

#### Minor Alterations

Any work that materially affects the external appearance of a building requires planning permission, subject to permitted development rights. Under normal planning control certain works to dwellings are classified as permitted development and do not require planning permission. This includes small alterations and extensions, the erection of buildings, enclosures or pools required for a purpose incidental to the enjoyment of a dwelling house (such as a swimming pool), the provision of some hard surfaces, and the erection of and alterations to boundaries. However, within conservation areas some developments (that in other areas would be permitted development) are not classified as permitted development. This includes various types of cladding; the insertion of dormer windows; and the erection of satellite dishes on walls, roofs and chimneys fronting a highway. Also, within conservation areas the size of extensions that may be erected without specific planning permission is also more restricted. Work that affects the external appearance of a building can include the replacement of doors and windows, particularly if it involves a change in the design or the use of a modern material, such as plastic (PVC-u). The accumulative effect of door and window replacement is beginning to damage the character and appearance of the Conservation Area. The effect of further



alterations of this nature will seriously erode the special interest of the area, which is the reason for its designation.

**Policy 6:** Where planning permission is required, the Council will resist the replacement of doors and windows, which would adversely affect the appearance of the building, and where the proposal would be detrimental to the character of the building or to the character of the wider Conservation Area.

The traditional materials used for the external walls of the buildings establish the appearance of the Conservation Area.

**Policy 7:** The Council will resist all proposals to clad buildings with materials that are not appropriate to the appearance of the Conservation Area.

Traditional, small-scale dormer windows are an important feature of the Conservation Area. The introduction of large-scale or non-traditional dormer windows would damage the architectural qualities and overall appearance of the area.

**Policy 8:** The Council will resist all proposals that involve the construction of large non-traditional dormer windows.

The widespread erection of satellite dishes and radio equipment on buildings would have a detrimental impact on the appearance of the Conservation Area.

**Policy 9:** Where planning permission is required, the Council will resist all proposals that involve the erection of satellite dishes and radio equipment in prominent locations within the Conservation Area.

Extensions to buildings can be detrimental to their appearance either because of their location, size or design. Extensions (including porches and canopies) on the front or principal elevations of buildings should be avoided as these elevations have usually been carefully designed. Extensions at the side or rear are generally to be preferred, except where these elevations have also been carefully designed or are open to public view. Extensions should be subordinate to the building to which they are attached, should use similar or complementary materials, and should reflect or complement its style and appearance.

**Policy 10:** The Council will resist proposed extensions that are too dominant, in a prominent location, or are otherwise detrimental to the character of the building to which they are attached, or to the character or appearance of the wider Conservation Area.

#### Article 4 Directions

Local planning authorities may remove (or apply for approval to remove) permitted development rights by way of an Article 4 Direction. This means that certain developments that would otherwise not require planning permission would be brought under control. The effect of the alterations and extensions that are possible under permitted development rights, such as the erection of small porches and extensions, the creation of hard-standings, and the removal of boundary walls, have begun to damage the character and appearance of the Conservation Area. The accumulative effect of further alterations of this nature will seriously erode the special interest of the area, which is the reason for its designation. During consultation the use of this power did not receive the full support of the local community. An interim policy has therefore been approved.

**Policy 11:** That the Council delay consideration of the implementation of an Article 4 direction (removing permitted development rights set out in Classes A, B, E, F and G of Part 1 of Schedule 2 of the Town and Country Planning (General Development Order) 1995) until the impact of any further changes on the ground are reviewed in due course. Alternatively a design guide is to be prepared

providing advice and guidance for residents on the subject of extensions and alterations and for use in connection with voluntary arrangements for compliance with good practice.

### Hedges

Many of the properties in the Conservation Area have hedges along their boundaries and these are an important feature of the area, contributing to its character and appearance. Those along front boundaries are very important within the street scene, helping to delineate the public and private spaces.

**Policy 12:** As part of proposals that require planning permission, the Council will discourage the removal of hedges that contribute to the character or appearance of the Conservation Area.

### Minor Alterations and Repair

The Council supports the following broad guidance:

Repair of traditional and decorative external woodwork is preferable to replacement. Window sills which require replacement should be cut out and replaced with new matching timber pieces joined in a traditional way. Where windows and doors have deteriorated beyond repair, consideration should be given to having new units made to the original design, rather than to replace them with modern standardised alternatives. Replacement windows should be timber, which should be painted. Joinery should be painted rather than stripped or stained.

Where possible new alarm box and satellite dish fittings should be mounted below eaves level and at the rear or side of the property. Main elevations should remain uncluttered. See-through mini satellite dishes cause the least harm.

If re-roofing is required, salvageable slates should be reused where possible, the balance being made up of reclaimed material. The use of concrete tiles or synthetic 'slates' can be inappropriate. Where possible semi-detached houses and terraces should be re-roofed as a whole to preserve a unified appearance.

Chimney stacks should be retained although the flues may not be in use.

Where replacement of rainwater goods is necessary, off the shelf PVC-u is seldom appropriate. There are convincing copies of cast iron and timber sections in other materials that are lighter and less expensive. The installation of additional and new pipe work on the front or primary elevations should be avoided.

External brickwork should not be painted and, if it is to be cleaned, a non-abrasive method should be used. Careless repointing of brickwork can seriously affect the appearance of the property, and the work should only be entrusted to an experienced contractor using a weak mortar mix, and traditional pointing method.

Existing boundary walls and gateposts should be retained and protected<sup>λ</sup> from removal and relocation. In some streets, proposals to create car hard standings by removing walls and gates should be resisted. In others, designs should take great care not to lose this part of the area's heritage.

When trees are removed or die they should be replaced with new trees<sup>λ</sup> of appropriate species and size.

### 6.3 Policies and Actions for Enhancement

In addition to their responsibility for the preservation of conservation areas, local planning authorities are also required to propose policies and actions that will lead to enhancement. This can be achieved through both the development control process and by proposing specific actions. Where a package of action is proposed, implementation may depend, in large part, on successful bids for funding from outside the Council.

#### Development Opportunities

Within the Conservation Area all proposals for development are opportunities to enhance the character and appearance of the designated area. It is therefore important for full details (including detailed plans, sections, elevations and landscape proposals) to be available as part of a planning application.

**Policy 13:** The Council will not consider an application for planning permission for development within the Conservation Area unless it includes full details of all elements of the proposal.

**Policy 14:** The Council will expect any proposal for a development within the Conservation Area to include a full analysis of the surrounding area. Proposals should respond to the surrounding development in terms of scale, height, massing, alignment and materials. All proposals should protect or enhance the character and appearance of the Conservation Area.

#### Trees

Trees are a particular feature of the Conservation Area but they mature and die. Therefore every effort should be made to provide for new and replacement tree planting within new developments.

**Policy 15:** The Council will encourage the planting of new and replacement trees where appropriate as part of all developments within the Conservation Area.

Also, the Council should consider the maintenance and replacement of the trees within the pavements, particularly along Grosvenor Road, as part of a wider scheme responding to traffic and parking issues.

#### Boundary walls and hedges

Similarly, boundary walls and hedges are also features of the Conservation Area but they have been removed from some properties. Therefore every opportunity should be made to provide or restore walls and/or hedges to property boundaries.

**Policy 16:** The Council will encourage the provision and/or reinstatement of boundary walls, railings and/or hedges.

#### Reinstatement of features

Some of the buildings within the Conservation Area have lost their original doors, windows and other features. As a result their character has been eroded. This is particularly true of some of the buildings along Bury New Road. As proposals come forward for alterations and extensions to these buildings there may be an opportunity to encourage the reinstatement of such features.

**Policy 17:** The Council will encourage the reinstatement of doors, windows and other features to their original pattern.

#### Commercial Frontages

There are a number of commercial frontages along Bury New Road within the Conservation Area. Many of these have poorly considered shopfronts and signage, which detract from the character and appearance of the area.

**Action 1:** The Council produce generic advice on the design of both traditional and modern shopfronts and signage.

#### Unadopted Highways

The appraisal considered a range of issues associated with the appearance and use of unadopted highways. These are currently the responsibility of the adjacent landowners.

**Action 2:** The Council will consider a range of options for upgrading unadopted highways for discussion with the local community.

#### Street Parking

The appraisal has identified problems in terms of commuter parking and highway safety. These issues have a number of implications including damage to the character of the conservation area

**Action 3:** A survey of the scale of commuter parking and its associated problems will be carried out. In light of the survey results and the impact of the new Metrolink car park, the Council will consider alternative proposals for discussion with the local community.

#### Public Realm

Within the Conservation Area there is a wide variety of materials used for paving. Along some roads, such as Church Lane, some stone flags remain but elsewhere tarmac has replaced the traditional materials. Also, there are a variety of signs and other street furniture, particularly along Bury New Road, which results in visual clutter. All this is detrimental to the character and appearance of the area.

**Action 4:** The Council will survey and assess the area and prepare a public realm strategy that can be used to provide a consistent and appropriate approach to all works within the public realm, including work by the utility companies. Subject to external grant support, the Council will produce and implement a programme of reinstatement and enhancement to the public realm. Fig. 14: All Saints Church

#### 6.4 Site Specific Proposals

The previous two sections have set out a general approach for the preservation and enhancement of the Conservation Area. However, there are a number of sites within the designated area that have been identified as major opportunities for development or enhancement. These are considered below.

##### Churchyard Around All Saints Church

Parts of the churchyard to the south of the church building have a poor visual appearance due to lack of maintenance. Also, the small structure to the north-east of the church (the possible hearse house) is poorly maintained and the visual quality of the access has an adverse impact on the setting of the Grade I building.

**Action 5:** Discussions should take place between the church authorities and the Council to consider churchyard/hearse house enhancement.

##### Hamilton Road Park

The park has recently been upgraded, which has boosted the vitality of the area. Despite these improvements, the park suffers from a lack of definition around the southern boundary, and rights of access for pedestrians between the park and Uplands is unclear.

**Action 6:** Council departments should consider jointly addressing these issues, though this may depend in part on the future of the Uplands site.

#### The Uplands

The Uplands is a large property in substantial grounds on the west side of Bury New Road. It is currently in use as an NHS clinic. The original house has suffered from a wide range of unsympathetic alterations and extensions, a number of poor quality ancillary buildings have been erected and the landscaped setting of the building has not been managed or maintained. Any future change in the use of The Uplands may represent an opportunity for substantial improvements to the main buildings and the grounds. At present the buildings are almost entirely concealed by trees. This was not the original design intention for the site and there is the opportunity to undertake work that will restore something of the original character and appearance to the grounds. This is likely to include significant thinning of the existing trees, both to open up views of the principal elevations and to allow some of the trees to develop fully. Some new tree and shrub planting is also likely to be necessary.

**Action 7:** In the event that the site of the Uplands becomes available for development the Council should prepare or approve a full development brief for the site.

#### Former Masons Arms Car Park

The car park to the former Masons Arms public house on Bury New Road has no visual enclosure along the road boundary and therefore creates a poor visual impression. This is partly comprised by the large advert hoarding on the adjacent gable.

**Action 8:** The Council should initiate discussions with the owner of the property to consider a possible enhancement scheme for the car park.

#### Whitefield House

Whitefield House was formerly used as Council offices but is now empty. The present owner has undertaken some works of demolition. Both the building and its extensive grounds are key contributors to the character and appearance of the Conservation Area, with potential to either enhance or damage that character. Consultants have advised that any works that damage the integrity or appearance of the main sections of the original house should be resisted. They also state that the key issues for the future of this site include the use of the building; the scale and design of any extensions (it is unlikely that any free-standing new building would be appropriate); the use of the grounds (which should not be sub-divided); the protection of the existing trees; new tree and shrub planting, and the boundary treatment along Bury New Road and Pinfold Lane. Discussions are underway with the owner about the future of the site, and co-ordination is being undertaken via a sub-group of the Area Board.

**Action 9:** To ensure that any restoration, extension and use of the building and the remodelling of the park are designed together, and that they are only acceptable if they enhance the character and appearance of both the building and the conservation area.

MN May 2018 and updated December 2018

## **Review of Brooksbottoms/Rowlands Conservation Area Appraisal and Action Plan. December 2018**

### **Introduction/Background**

The conservation area was designated in 1975 and the original appraisal/action plan was published in 2010 (prepared by Kathryn Sather and Associates). This followed research and an assessment of the area and consultation with residents and local groups. It outlined the history of the area, the qualities of its architecture and environment, and put forward proposals for accommodating change and ensuring that the character of the area was preserved and enhanced.

The Council's website link for the 2010 plan is <https://www.bury.gov.uk/index.aspx?articleid=11498>

<https://www.bury.gov.uk/CHttpHandler.ashx?id=19123&p=0>

Brooksbottoms/ Rowlands Conservation Area lies within the village of Summerseat, 2½ miles north of central Bury within and around a widening of the Irwell Valley. Brooksbottoms lies to the west of the A56 and the M66, with the Gollinrod Gorge and Wood to the north. The separate Summerseat Conservation Area lies to the south and west of the River Meander.

Historic England, the primary heritage advisory body in England, and other heritage bodies, recommend that appraisals and plans are regularly reviewed and updated. In the intervening 8 years since this plan was published there have also been changes to national conservation guidance most recent being the National Planning Policy Framework 2018. Bury Council has decided, in this context, to undertake a quick review all of its conservation area appraisals/action plans. In the years since the action plan there have been concerns expressed over the deterioration of the character of the conservation area and the area is currently seen to be at risk of further decline. It is listed on the current Historic England's At Risk Register.

It is not necessary within the review to revisit the history and origins of the area. It may be necessary to review what is significant about the area's heritage, as this may help to guide future decisions on proposed changes. It will be important to note what has happened since 2010 and how successful the action plan has been. The review should note threats to the area's character and opportunities for its enhancement, and make recommendations about the way forward. The review should also consider if the current area boundary requires adjustment.

The main areas of the review are : -

### **Area Significance 2018**

### **Changes from 2010 to 2018 - Issues**

### **Accommodating Change/Threats and Opportunities**

### **Area Boundary**

### **Recommendations**

The words shown in coloured italics below are extracts from the 2010 action plan report. A separate appendix of photographs with description illustrates some of the comments now made. The policies in the 2010 action plan are appended to this report.



## Area Significance 2018

The 2010 action plan made the following comments.

*The special character of Brooksbottoms Conservation Area derives from the following elements:*

- *Two distinct character areas, one being a mixture of late eighteenth, nineteenth and twentieth century stone and brick houses, education and ecclesiastical detached buildings on a historic thoroughfare; the other being largely a development of the cotton industry from the late eighteenth or early nineteenth century and consisting of larger industrial buildings, rows of small terraces and structures associated with the railway;*
- *A number of buildings or monuments listed or of local architectural or historic interest;*
- *Traditional craftsmanship, natural resources and energy of production embodied in original building materials and architectural features;*
- *Visual harmony resulting from use of a limited palette of natural building materials, largely locally derived stone, and stone or slate roofs;*
- *Rural area with a more enclosed feel due to the survival of the historic road network and a mixture of buildings set back from and built up to the road;*
- *Significant views within, into and out of the Conservation Area to the south and west;*
- *Green open space provided by mature woodland at Gollinrod Wood which is a designated Site of Biological Interest and by the Summerseat Nature Reserve which is a UK priority habitat;*
- *The whole of the river valley at this point, with its combination of mature woodland, the gorge and flat land inside the river bend, buildings and road bridges in natural stone and the landmark of the railway viaduct.*

*The Conservation Area's physical character derives from its relationship with the River Irwell, which has not only served as a source of water and power for the village's industry, but has also moulded the form of the settlement's development, initially away from the floodplain and later closer to the river. The Conservation Area consists of two loosely linked settlements of Brooksbottoms and Rowlands which sit on the slopes surrounding the wide flood plain, now with inappropriate late twentieth century infill to the east. The settlements can be viewed as distinct groupings connected by narrow winding roads and pathways. The low-piered natural stone bridges forming road crossings also make a significant contribution to the character of the area. One of the stone bridges has been suggested for addition to the Local List. The bridges serve not only to connect the two sides of the river valley but also to link the Brooksbottoms/Rowlands Conservation Area with the Summerseat Conservation Area to the west.*

*Rowlands lies on high ground to the east of the railway line and the buildings are of a mixture of architectural styles, varying from plain late eighteenth century residential to mid-nineteenth century educational. The Methodist burial ground on the site of the chapel is especially interesting and the mature trees add to the area's character.*

*Brooksbottoms lies on the lower slopes and in the valley bottom and is characterised by industrial buildings and terraced worker's cottages of the late eighteenth and nineteenth centuries. A narrow pierced river bridge links the rest of the village with the four-storey Brooksbottoms Mill, now a listed and redeveloped building.*

*The plan form of the Conservation Area is mainly linear, following the railway and the historic road layout.*

In addition, the landscape in and around the area is seen as an important to the setting of the conservation area.

*The landscape setting of Brooksbottoms has the following key characteristics:*

- *The whole of the river valley at this point, with its combination of mature woodland and grassland, the Gollinrod gorge and flat land inside the river bend;*
- *The railway line and its viaduct forming a landmark across the gateway to the current Conservation Area;*
- *The valley bottom at this point is generally unkempt and sites by the river, particularly to the west of the railway line, are generally derelict;*
- *Mature mixed woodland at the bottom of Gollinrod Gorge and behind the mill building which provides an impressive backcloth dominating the skyline to the north and east. Gollinrod Wood is designated as a Site of Biological Interest, Class A;*
- *Large triangular field to the east of Miller Street;*
- *Summerseat Nature Reserve in the bend of the River Irwell;*
- *Survival of pre-urban tracks which illustrate how the built-up area expanded onto rural land, such as the southern end of Miller Street and the eastern end of Rowlands Road;*
- *The edge of the village, although it contains late twentieth century infill development, is still defined by field boundaries visible on the 1850 map;*
- *Ever-present views of surrounding hills, woodland and rural landscape;*
- *Setting of the village on the valley sides adds to the character, providing gradient and a varied roofscape.*

In general, the special character and significance of the conservation area remains the same, and much of this is due to the natural character of the river valley, the topography, views and vistas, and the way industrial and residential development, and the design of the transport links, have responded to this during the 18<sup>th</sup> and 19<sup>th</sup> centuries.

### **Changes 2010 to 2018 - Issues.**

The area has now been re-surveyed (January 2018) and compared with images from 2009 and 2015. There has been a specific and significant loss of architectural fabric following the partial collapse of the former canteen building at the former Hoyles Mill and which was located alongside Brookbottoms river bridge. This resulted from the floods of winter 2015, following which what remained of the building had to be removed for safety reasons leaving the bridge and its abutments in need of restoration. The building was listed grade II and was an important part of the former Hoyles Mill complex located by the river. The loss of the building has played a part in the current conclusion that the conservation area is at risk of losing its intrinsic character. The car park from the building remains alongside the river. This forms part of the introduction to Gollinrod Gorge and up-river the land rises to its north away from Kay Street. It is a brownfield site. Planning permission has now been granted for the repair and alteration of the bridge and discussions are underway to secure agreement with the landowner of part of the future structure.

In addition to the loss of part of a listed structure, there has also been some additional decline in the area's character. There have been alterations to dwellings/buildings since 2010 and these have not respected the original character of the area. The main changes involve the replacement of windows and doors. Prior to 2010 there had also been fairly extensive changes to windows and doors, to roofing materials, the painting of external stonework, the loss of chimney stacks and the introduction of satellite dishes in prominent locations. These changes are fairly widespread and were identified as a threat to area character in the 2010 appraisal. In combination, they have led to a serious decline in character and significance of the conservation area. The areas most affected are Hill Street, Castle Street, Moss Street, Kay Street and Queens Place, with some changes on Hamer Terrace, East View and Rowlands Road.

Other significant concerns expressed in 2010 were the condition of the grade II listed vacant former goods shed located by the ELR Summerseat railway station, the condition of the overgrown graveyard and parts of the boundary wall at the site of the former Methodist church, and the general condition of the public realm and areas of setts and paving both away from and in the highway. There has been no change in these issues since 2010. Due to Council budget savings since 2008 it is not

expected that significant future investment can be made in the public realm. The appraisal did put forward buildings for addition to the draft local list of buildings of special architectural or historic interest, and a draft list for the borough is now complete.

## **Accommodating Change/Threats and Opportunities**

Consideration should be given to introducing additional controls via an Article 4 Direction (please see Action 8 in the 2010 Action Plan below) to stem further inappropriate alterations to dwellings and their curtilages. Although the Council has in the past offered some basic design guidance in terms of repair, alteration and new work, additional controls should be accompanied by additional and detailed guidance, and assistance with identifying appropriate suppliers and contractors.

Whilst the loss of the building at the Kay Street bridge has had a significantly negative impact on area character, area policies should now look forward to seeking some positive outcomes from the situation. The scheme for the bridge includes the repair of the abutments, parapets, flanking walls and deck. It also includes an additional safe pedestrian footway in the form of an extension on the upriver side. Every effort should be made to speedily bring this work to completion.

The site of the former car park is brownfield land. As time goes by there is a risk that its appearance will decline. Planning policies define the area as a development site. If correctly handled, any development could add to the appearance of this part of the conservation area and contribute to the riverside setting. Residential development would appear to be the most appropriate use. A pastiche development would not be appropriate, but in the right hands a well designed, subtle, respectful and in-scale development could add to the improvement of the area. The development design/brief should have some connection with the character of the area but should not blindly copy local details. It should also be aware of the traffic issues in the area and not add significantly to traffic problems or highway safety concerns. The first stage of any development plans should be a heritage statement and site assessment to define the most appropriate form, height, density and appearance of buildings in the context of surrounding land and buildings. No development proposal should be considered without this assessment being undertaken by a suitably qualified and able person.

## **Area Boundary**

In 2010 the management/action plan put forward the extension of the conservation area boundary, and the amalgamation of the Summerseat and Brooksbottom/Rowlands Conservation Areas. The extensions put forward included the brick former workers houses to the west of the area and parts of Gollinrod Gorge and Crag Lane. The extension and amalgamation was considered by the Council in 2011 and was not supported. There has been no change in circumstances or national heritage policies that would justify the inclusion of these areas.

## **Recommendations**

In addition to the recommendations approved in the 2010 document (which are outlined in the appendix below) and from the discussion and conclusions in the last section of this review, the following additional actions are recommended.

Due to a number of factors the character of the conservation area is seen to be at risk of further decline. Decline could be reversed if the following priority actions are taken.

- The implementation of an Article 4 Direction, combined with detailed and targeted design guidance, and specialist suppliers/contractor information.
- Action on taking forward the river bridge project and the potential for development of the car park site, the latter requiring a heritage assessment and design brief with heritage as its main priority.

- The need to investigate the future use and repair of the former railway goods shed on Rowlands Road and the restoration of the graveyard to the former Methodist Church.



## Appendix. Policies from 2010 Action Plan

The following are approved policies which still apply to the conservation area. Changes to government legislation and guidance, and in grant arrangements, have taken place since 2010 and these may affect the terminology used.

## 1.1 Policies for the Control of Development and Change

The following policies are directed at ensuring that change is in sympathy with the area's character. These should be read in conjunction with the Council's publication *Living in a Conservation Area* which gives general guidance on conservation areas and explains when planning permission is required for the alteration and extension of dwellings. They should be taken into account when consideration is being given to proposed alterations and when guidance is required, subject to public views and consultation.

### Suggested Boundary Changes

Best practice guidance contained in PPG15 and English Heritage guidance<sup>1</sup> states that the boundaries of existing conservation areas should be kept under review. Parts which are no longer special should be excluded. Where drawn too tightly, the conservation area should be extended to include more recent phases or plots associated with buildings of historic interest.

The Conservation Area Appraisal considered that it is now recognised that conservation area boundaries need to be seen within a wider context of urban development. Designated areas should provide protection to buildings that were perhaps not previously considered to be of architectural merit and to the spaces between buildings, such as streets and neutral areas. It is also the case that further information can come to light about the historic importance of buildings and spaces.

It is therefore considered appropriate to protect the brick terraces off Ruby Street, the recreation ground to the west as far as Holcombe Brook but excluding the late twentieth century development, and the wooded area to the north. The brick terraces were built for workers at the re-built Brooksbottoms Mill and are through terraces, such that when front and back doors were opened it was possible to look straight through the rows. As a result residents had very little light or privacy and the terraces are an unusual reminder of living conditions for many people. However, even these buildings have some degree of architectural detailing, with cut-brick arches and moulded bracketed cornices over the doors and stone ashlar window sills and heads. Some of the original 10 terraces have been demolished in order to provide better light and gardens. The recreation ground was marked as a field until 1939 when it was designated for recreation purposes but may already have been used as such for many years before then. It currently provides a valuable open space and both the recreation ground and the wooded area act as an important back-drop to the brick terraces and affect the setting of the Conservation Area.

It is also considered appropriate to include the remainder of Hill Street, Cragg Farm with associated buildings on Bass Lane and the section of Gollinrod Gorge to the north. The top end of Hill Street is an attractive walled pathway leading up the hill to Bass Lane, the stone wall on the north side being dated 1992-3. Cragg Farm is a large two- to three-storey stone building with stone-mullioned windows which may date from the eighteenth century. Smithy Cottage and Rosewood Cottage, a pair of semi-detached cottages on the East side of Cragg Lane, are small stone houses with slate roofs

and stone-mullioned windows. The complex is a good example of the farms which existed in the area before the arrival of the cotton industry. There are attractive views from Bass Lane northwards over the gorge which also affects the setting of the northern section of the current Conservation Area and acts as a back-drop to the listed former Brooksbottoms Mill.

It is also considered appropriate to include the area inside the river bend, to the west of the railway. This area includes the historic remains of the reservoir created by Peel and Yates to feed Brooksbottoms Mill, which is shown on the 1818 map. By 1939 the reservoir had largely silted up and there was a sewage works and print works with filter beds on the site. By 1994 the sewage works had gone and the print works in the south-western corner has been developed in recent years in an inappropriate manner. The Summerseat Nature Reserve lies to the south. At the north-eastern corner of the area, there is a tarmaced extension of Kay Street leading to an intrusive car park and basketball court. Inclusion in the Conservation Area would encourage appropriate enhancement of this area. The area also affects the setting of the neighbouring Summerseat Conservation Area.

It is also considered appropriate to include Wood Road Lane as far as Wood Road Mill and number 49. Wood Road Mill was one of the late eighteenth century spinning mills built by Peel and Yates. Although this has now been refurbished and converted into residential accommodation, many of the exterior features appear to survive. Lower Wood Road Farm is also a good example of the scattered farms which characterised the settlement in the area before the arrival of the cotton industry and the house at Higher Wood Road Farm has a date stone marked 1721. The settlement of 'Woodrod' is marked on the 1818 map. The stone cottage Forrest may be marked on the 1850 map and is of a similar quality to other houses currently within the Conservation Area. The lane itself is an attractive wooded road with views both ways along the river from the Wood Road bridge and the wood on both sides of the river and on the railway embankment affects the setting of the Conservation Area.

**Action 1**

Amend the boundary of the Conservation Area as shown on the proposals map to include:

- the brick terraces off Ruby Street and the recreation ground to the west as far as Holcombe Brook but excluding the late twentieth century development and the wooded area to the north;
- the remainder of Hill Street, Cragg Farm with associated buildings on Bass Lane and the section of Gollinrod Gorge to the north;
- the area inside the river bend, to the west of the railway;
- Wood Road Lane as far as Wood Road Mill and number 49.

The Brooksbottoms/Rowlands and nearby Summerseat Conservation Areas both have their origins in the seventeenth century farming community and developed in the late eighteenth century with the introduction of the cotton industry and both share buildings of the same type and character. As they currently lie so close to each other, and given the suggested boundary extensions which will mean that they share boundaries, it is proposed to merge them to create one conservation area, which could be called the Summerseat Village Conservation Area as the village itself currently lies within the Brooksbottoms/Rowlands Conservation Area.



**Action 2**

To merge the Brooksbottoms/Rowlands Conservation Area with the nearby Summerseat Conservation Area.

**Future Demolition**

Legislation provides for control over the demolition of buildings in conservation areas (subject to various exceptions). Paragraph 4.27 of PPG15 – *Planning and the Historic Environment* indicates that ‘the general presumption should be in favour of retaining buildings which make a positive contribution to the character or appearance of a conservation area’. It goes on to indicate that proposals to demolish such buildings should be assessed against the same broad criteria as proposals to demolish listed buildings (paragraph 3.16 – 3.19 of PPG15).

The Significant Buildings map accompanying this document identifies all buildings within the designated area and the suggested boundary extensions which are proposed for addition to the Local List and those which make a positive contribution to the townscape. There should be a presumption against the demolition of all these buildings.

**Action 3**

The Council will only grant conservation consent for the demolition of a building proposed for the Local List or a building that makes a positive contribution to the townscape of the Conservation Area (as identified on the Significant Buildings map) if it has been fully justified against the criteria laid out in PPG15 paragraphs 3.16 – 3.19.

**Minor Alterations and Extensions**

Any work that materially affects the external appearance of a building requires planning permission, subject to certain permitted development rights. Under normal planning control certain works to dwellings are classified as permitted development and do not require planning permission. This includes small alterations and extensions, the erection of buildings, enclosures or pools required for a purpose incidental to the enjoyment of a dwelling house (such as a swimming pool), the provision of some hard surfaces and the erection of and alteration to boundaries. However, within conservation areas some development (that in other areas would be permitted development) are not classified as permitted development. This includes various types of cladding, the insertion of dormer windows and the erection of satellite dishes on walls, roofs and chimneys fronting a highway. Within conservation areas, the size of extension that may be erected without special planning permission is also more restricted.

Work that affects the external appearance of a building can include the replacement of doors and windows, particularly if it involves a change in the design or use of a modern material, such as plastic (PVC-u). The accumulative effect of door and window replacement is beginning to damage the

character and appearance of the Conservation Area. The effect of further alterations of this nature will seriously erode the special nature of the area, which is the reason for its designation.

**Action 4**

Where planning permission is required, the Council will resist the replacement of doors and windows which would adversely affect the appearance of the building and where the proposal would be detrimental to the character of the building or to the character of the wider Conservation Area.

The traditional materials used for the external walls of the buildings establish the appearance of the Conservation Area.

**Action 5**

The Council will resist all proposals to clad buildings with materials that are not appropriate to the appearance of the Conservation Area.

The widespread erection of satellite dishes and communications equipment on buildings would have a detrimental impact on the appearance of the Conservation Area.

**Action 6**

Where planning permission is required, the Council will resist all proposals that involve the erection of satellite dishes and communications equipment in prominent locations within the Conservation Area.

Extensions to buildings can be detrimental to their appearance either because of their location, size or design. Extensions (including porches and canopies) on the front or principal elevations of buildings should be avoided as these elevations have usually been carefully designed. Extensions at the side or rear are generally to be preferred, except where these elevations have also been carefully designed or are open to public view. Extensions should be subordinate to the building to which they are attached, should use similar or complementary materials, and should reflect or complement its style and appearance.

**Action 7**

The Council will resist proposed extensions that are too dominant, in a prominent location, or are otherwise detrimental to the character of the buildings to which they are attached, or to the character or appearance of the wider Conservation Area.

**Article 4 Direction**

Local planning authorities may remove (or apply for approval to remove) permitted development rights by way of an Article 4 Direction. This means that certain developments what would otherwise not require planning permission would be brought under control. The effect of the alterations and extensions that are possible under permitted development rights, such as the erection of small porches and extensions, the creation of hard-standing and the removal of boundary walls, have begun to damage the character and appearance of the Conservation Area. The cumulative effect of further alterations of this nature will seriously erode the special interest of the area, which is the reason for its designation.

**Action 8**

The Council will consider implementation of an Article 4 Direction (removing permitted development rights set out in Classes A, B, E, F and G of Part 1 of Schedule 2 of the Town and Country Planning (General Development Order) 1995).

**Boundary Walls**

Many of the properties in the Conservation Area have stone walls and gate posts along their boundaries and these are an important feature of the area, contributing to its character and appearance. Those along front boundaries are very important within the street scene, helping to delineate the public and private spaces. Proposals to create car hardstandings could result in the removal of walls and gates.

**Action 9**

As part of proposals that require planning permission, the Council will discourage the removal of stone walls and gate posts that contribute to the character or appearance of the Conservation Area.

**Land Use**

The character of the Conservation Area relies upon the existing pattern of land uses. Any major changes to these land uses will affect this character. At present, there are commercial uses on the site of the former Brooksbottoms Mill canteen astride the river (although this is currently vacant), with ecclesiastical and educational uses along Rowlands Road and the remainder of the area is residential. Non-residential uses should be considered on a case-by-case basis in those parts of the Conservation Area away from the former mill complex and Rowlands Road.

**Action 10**

The Council will consider carefully how proposals for the change of use may affect the character of existing land or buildings within the Conservation Area.

**Landscape Issues**

Section 211 of the Town and Country Planning Act 1990, as amended, requires that anyone proposing to cut down, top or lop a tree in a conservation area must give six weeks notice to the local planning authority. The purpose of this requirement is to give the authority an opportunity to make a tree preservation order.

**Action 11**

The Council will generally resist proposals to cut down, top or lop trees in the Conservation Area. When trees are removed or die they should be replaced with new trees of appropriate species and size.

There are several areas of open spaces within the Conservation Area that are very important to its character. These include the cricket ground in the south and a small recently landscaped parking area with cobbles and small trees at the western end of Cliff Avenue.

Another, in one of the suggested extensions, is the recreation ground to the north of Waterside Road. All these spaces need to be protected from built development.

**Action 12**

The Council will resist all proposals to develop the open spaces within the Conservation Area with buildings.

**Unused or Underused Land**

New development in unused or underused land needs to be appropriate for the character of the Conservation Area in terms of size, massing, style and materials. The Conservation Area Appraisal notes that the layering of history in the Conservation Area is of interest. However, the introduction of additional large volume buildings could damage the mix and the surviving lines of burgage plots that give interest to the Conservation Area. In general terms, high volume buildings can threaten the scale and grain of the Conservation Area and could be intrusive here.

The Conservation Area is not homogenous in built form and larger buildings currently within it include the former Brooksbottoms Mill, the school and the former goods shed as well as the railway viaduct. This recommendation seeks to ensure that the scale and grain of development is appropriate, in accordance with advice contained in paragraph 7.9 of the English Heritage document *Guidance on the Management of Conservation Areas*.

**Action 13**

Any new development should ensure that the footprint and massing of new buildings fits into the existing urban grain and respects the historic character of the Conservation Area.

**Setting of the Conservation Area**

The Conservation Area Appraisal identified that the setting of the Conservation Area is important, that late twentieth century development has already negatively affected the setting to the east and recent development at the former print works has negatively affected the setting of the adjacent Summerseat Conservation Area. The suggested boundary extensions have taken the need to protect the setting of the Conservation Area into account.

**Action 14**

The Council will take the setting of the Conservation Area into account in any proposal for new development just outside its boundaries.

**Planning Documents and Guidance**

Although some relevant general Supplementary Planning Guidance Notes are available, as is the Council's publication on conservation areas, residents would benefit from formal guidance directly applicable to this Conservation Area. This would provide design guidance on extensions and alterations.

**Action 15**

The Council will prepare a design guide for the Conservation Area to provide advice and guidance for residents on the subject of extensions and alterations which will form a material consideration in planning applications.

**Suggested Monitoring and Enforcement Arrangements**

English Heritage guidance recommends the development of procedures for monitoring change in conservation areas on a regular basis (every five years), such as photographic surveys and recording.

**Action 16**

A mechanism for monitoring change on a regular basis will be developed.

English Heritage guidance also recommends that the special character of conservation areas is protected and enhanced by enforcement of the controls applied. In March 1998, the Cabinet Office,

in partnership with the Local Government Association, published the central and local government Concordat on Good Enforcement, a voluntary non-statutory code setting out best practice.

**Action 17**

The Council will continue to take enforcement action within the Conservation Area where appropriate.

## 1.2 Proposals for Area Enhancement

### Protection and Enhancement of Important Views and Vistas

It is important that the significant linear views (visual axes) are preserved from encroachments, inappropriate developments or loss of enclosure. The quality of these visual axes is subtle, and is subject to a wide variety of potential threats including demolition of corridor walls, installation of street signage and other visual clutter, or encroachment by large buildings, projecting signs, advertisement hoardings and so on. These threats will need to be assessed and managed as they arise.

**Action 18**

Important visual axes will be preserved and enhanced including:

- from the eastern end of Rowlands Road and from the cricket ground southwards over farmland towards the river;
- from Summerseat Station westwards towards the river;
- southwards along the railway line from the station;
- Waterside Road southwards over the river;
- into the current Conservation Area and of the Summerseat Viaduct, from Ruby Street north-east towards the Holcombe Brook and the wooded area;
- from Bass Lane northwards over the Gollinrod Gorge.

### Highways, Footways, Lighting and Signage

It is also important that the plan form of historic routes is respected as this has affected the present character of the Conservation Area. All the roads below were present in 1818.



**Action 19**

The following historic routes will be protected from amendment to their plan form wherever possible within the scope of the Planning Legislation:

- Hill Street;
- Bass Lane;
- Pollards Lane;
- Queens Place;
- Rowlands Road;
- Crag Lane;
- Wood Road Lane.

The Conservation Area Appraisal identified a loss of historic street and pavement surfaces which are now exclusively tarmac and have a negative effect on the character of the area.

**Action 20**

The Council will work to restore the traditional appearance of the streetscape and consult the Conservation section on future enhancements to the footpaths in its ownership in the Brooksbottoms/Rowlands Conservation Area.

The traffic through the village is affecting the setting of the current Conservation Area. Any future public works to the carriageway should take full account of the potential effect they will have. Pavements and crossings must be suitably maintained and improved in order to facilitate their use by pedestrians.

**Action 21**

The Council will seek to improve the control of traffic flow and pedestrian access across the streets of Brooksbottoms/Rowlands. It will seek to ensure that new and existing hard surfaces, road signage and other items of street furniture will preserve the special character of the Conservation Area.

The volume of traffic currently moving through the village centre was identified as a problem in the Character Appraisal. A busy route through the village is currently over the narrow river bridge by the former Brooksbottoms Mill, round a very tight bend onto the narrow Hill Street and round two more tight bends onto Cliff Avenue for egress onto Bass Lane. The roads through the village were not built for the pressures of modern traffic which is having a detrimental effect on the character of the Conservation Area.

**Action 22**

The Council will refer the problem of traffic flow in and around the village to the Highways Sub-Committee for consideration of available options and, in the long-term, possible alternative routes for traffic.

**Repair and Improvement of Buildings**

Brooksbottoms/Rowlands Conservation Area is characterised by varied pitched roof forms. The original roofs are covered with local stone flags or natural slate.

**Action 23**

If re-roofing is required, salvageable slates should be re-used where possible, the balance being made up of reclaimed material. The use of concrete or clay tiles or synthetic slates would be inappropriate. Where possible semi-detached houses and terraces should be re-roofed as a whole to preserve a unified appearance.

Stone and brick chimney stacks with clay pots make a strong contribution to the skyline and add to the character of the area.

**Action 24**

Chimney stacks and pots should be retained at their original height with their original banding and detailing although the flues may not be in use.

The Council also supports the following broad guidance:

- Repair of traditional and decorative external woodwork is preferable to replacement. Window sills which require replacement should be cut out and replaced with new matching timber pieces joined in a traditional way. Where windows and doors have deteriorated beyond repair, consideration should be given to having new units made to the original design, rather than replacing them with modern standardized alternatives. Replacement windows should be timber, which should be painted. Joinery should be painted rather than stripped or stained.
- Where possible new alarm box and satellite dish fittings should be mounted below eaves level and at the rear or side of the property. Main elevations should remain uncluttered. See-through mini satellite dishes cause the least harm.
- Where replacement of rainwater goods is necessary, off-the-shelf PVC-u is seldom appropriate. There are convincing copies of cast-iron and timber sections in other materials that are lighter and

less expensive. The installation of additional and new pipe work on the front or primary elevations should be avoided.

- External brickwork should not be painted and, if it is to be cleaned, a non-abrasive method should be used. Careless repointing to brickwork can seriously affect the appearance of the property and the work should only be entrusted to an experienced contractor using a weak mortar mix and traditional pointing method.

Some of the buildings within the Conservation Area have lost their original doors, windows and other features. As a result their character has been eroded. As proposals come forward for alterations and extensions, there may be an opportunity to encourage the reinstatement of such features.

**Action 25**

The Council will encourage the reinstatement of doors, windows and other features to their original pattern.

Buildings which are not of national significance do not merit statutory listing, yet many areas have not been surveyed for relisting recently and may contain buildings of listable quality. However, buildings which are valued for their contribution to the local scene, or for local historical associations, may be included on lists of *locally important buildings*. The *Heritage Protection White Paper* encourages the use of local designation to provide communities with the opportunity to identify and manage those aspects of their heritage that are important to them. Local planning authorities may formulate policies for their protection through development control procedures. Buildings and artefacts which contribute to the character and appearance of the Conservation Area are identified in Appendices 3 and 4.

**Action 26**

The following buildings and artefacts are identified as being of local architectural or historic interest – the ‘Local List’. They do not enjoy the full protection of statutory listing:

- 1-10 Hamer Terrace, Waterside Road;
- East View, Waterside Road;
- Forrest Cottage, Wood Road Lane;
- Rowlands House/The Rowlands, Ashborne Drive;
- Stone pavement, walkway and cobbles on Waterside Road;
- Bridge over River Irwell, Kay Street;
- Railway viaduct over River Irwell.

Heritage-led regeneration has a key role to play and funding of historic building repair and restoration would assist with achieving wider aims for the area while preserving and enhancing the special local character. Possible sources of funding would include the Heritage Lottery Fund, English Heritage and the Regional Development Agency.

A 'building at risk' is defined as one in a poor state of repair and often vacant and redundant from its original use. The buildings are at risk of loss or further deterioration unless action is taken to arrest the neglect and decay. The former railway good shed on Rowlands Road is Grade II listed but is vacant, although planning permission has recently been given for conversion to restaurant use.

**Action 27**

Opportunities to secure funding for the preservation and enhancement of statutory listed buildings in the Conservation Area will be pursued. Particular attention will be given to the following 'heritage at risk':

- Former Railway Goods Shed on Rowlands Road.

The Council will encourage appropriate maintenance of historic buildings. The Council will continue to monitor the condition of its listed buildings on a regular basis and consider using its powers to serve urgent works or repairs notices where necessary.

Buildings within the existing and proposed extensions to the Conservation Area were identified in the Appraisal as being at risk, such as the former railway goods shed. Urgent works and repairs notices can be very effective in helping to secure the future of historic buildings and sites. Local authorities should make full use of their statutory powers if listed buildings, or unlisted buildings that contribute positively to the special interest of a conservation area, are falling into decay.<sup>2</sup>

**Action 28**

Action may be considered under Section 215 of The Planning Act 1990, and/or sections 48, 54, and 76 of the Planning (Listed Buildings and Conservation Areas) Act 1990 to secure the repair of listed and unlisted buildings within the Conservation Area, and to ensure that untidy lands and sites are addressed where appropriate.

**Removing Environmental Problems**

The Character Appraisal identified certain environmental problems which are having a detrimental effect on the character of the Conservation Area. Local residents are in the best position to report such problems and the Council should work with residents' groups to clear up in an appropriate and timely manner.

**Action 29**

The Council will work with residents to respond to reports of environmental problems and will clear up in an appropriate and timely manner.

## **Landscape and Trees**

Trees are a particular feature of the Conservation Area but they mature and die. Therefore every effort should be made to provide for new and replacement tree planting within new developments.

### **Action 30**

The Council will encourage the planting of new and replacement trees of appropriate species and size where appropriate as part of all developments within the Conservation Area.

## **Improvements to Support Beneficial Uses**

Within living memory the village had two grocers, butchers, a hardware shop, a fish and chip shop and a post office, all of which are now closed. There are no facilities within walking distance of the village centre, other than the garden centre and pubs in the Summerseat Conservation Area. Appropriate proposals for employment opportunities and services for residents should be encouraged.

### **Action 31**

The Council will encourage appropriate proposals for employment opportunities and services for residents, subject to the policies referred to in this document.

## **Public Realm**

Within the Conservation Area there is a variety of materials used for paving. Along some roads, such as the southern end of Kay Street, stone cobbles remain but elsewhere tarmac has replaced the traditional materials. This is detrimental to the character and appearance of the area. Any future public works to the carriageway should take full account of the potential effect they will have. Pavements and crossings must be suitably maintained and improved in order to facilitate their use by pedestrians. Best practice for the management of historic streets is contained in English Heritage guidance.

### **Action 32**

The Council will prepare a public realm strategy that can be used to provide a consistent and appropriate approach to all works within the public realm, including work by utility companies. Subject to external grant support, the Council will produce and implement a programme of reinstatement and enhancement to the public realm.

All outdoor advertisements affect the appearance of the building or neighbourhood where they are displayed. The former Brooksbottoms Mill canteen has been used as a restaurant but is now vacant and may be used for a similar purpose in the future.

**Action 33**

The Council will ensure that all proposed advertisements accord with Policy EN1/9 of the Local Plan and the subsequent relevant policies that will be adopted in the forthcoming LDF.

**Redevelopment Opportunities**

Within the Conservation Area all proposals for development are opportunities to enhance the character and appearance of the designated area. It is therefore important for full details (including detailed plans, sections, elevations and landscape proposals) to be available as part of the planning application.

**Action 34**

The Council will not consider an application for planning permission for development within the Conservation Area unless it includes full details of all elements of the proposal.

**Action 35**

The Council will expect any proposal for a development within the Conservation Area to include a full analysis of the surrounding area. Proposals should respond to the surrounding development in terms of scale, height, massing, alignment, style and materials. All proposals should protect or enhance the character and appearance of the Conservation Area. Proposals should show how they conform to the criteria laid out in PPG15 paragraphs 4.14 and 4.16-4.20.

The Character Appraisal identified intrusive buildings and sites and opportunities to improve them should be sought to ensure the preservation or enhancement of the character and appearance of the Conservation Area, in accordance with Section 72 of the Planning (Listed Buildings and Conservation areas) Act 1990.

**Action 36**

Opportunities for the improvement of the intrusive buildings and areas identified within this Appraisal will be sought, should an application for planning permission be submitted on those sites.



### **1.3 Site-specific Proposals**

The previous two sections have set out a general approach for the preservation and enhancement of the Conservation Area. However, there are a number of sites within the designated area that have been identified as opportunities for development or enhancement. These are considered below.

#### **Western End of Rowlands Graveyard**

The western end of the graveyard at the site of the Rowlands Methodist Chapel has a poor visual appearance due to lack of maintenance. It is understood that there were concerns that the grave stones have become dangerous and the volunteers who maintain the remainder of the graveyard were asked to leave this area for safety reasons.

##### **Action 37**

Discussions should take place between the church authorities and the Council to consider graveyard enhancement.

#### **East Lancashire Railway Station and Arches**

There is a lack of visitor orientation at the ELR's Summerseat station. Visitors unfamiliar with the area would benefit from a map of the local area and information about local facilities, such as pubs. The arches underneath the line off Kay Street give the designated area a neglected appearance. There is also a lack of facilities for visitors to the village and the potential exists to use the former goods shed in relation to the railway as a visitor facility, such as providing orientation, interpretation and a café. An additional facility could be the provision of leaflets on guided walks around the village for railway users.

##### **Action 38**

Discussions should take place between the ELR management authorities and the Council to consider the improvement of visitor orientation and the enhancement of railway arches.

#### **Unmanaged Area to West of Railway Line**

This area of largely unmanaged green space contains historically important remnants of the Brooksbottoms Mill reservoir on the north-west of the river bend and the remains of the print works. It currently presents a neglected appearance despite the public footpaths and contains an intrusive car park. There is currently no public access to the remnants of the reservoir. The Summerseat Nature Reserve lies to the south.

##### **Action 39**

Discussions should take place between the landowners and the Council to consider the enhancement of the area inside the river bend and to the north of the Nature Reserve. Options could include a wildlife survey of the area, provision of public footpaths and visitor interpretation.

**Verge on Queens Place**

The grass verge on Queens Place has become worn through use for car parking giving the street a poor visual appearance.

**Action 40**

The Council will consider replacing the grass verge with appropriate stone cobbles.

MN May 2018 and updated December 2018

## **Review of Holcombe Village Conservation Area. December 2018.**

From 2004 to 2011 Bury Council produced conservation area appraisals and management plans for 10 of its 12 conservation areas with the aim of better preserving and enhancing their character. The plans were the subject of consultation and Council approval and full details now appear on the Council's website.

Historic England, the primary heritage advisory body in England, and other heritage bodies, recommend that appraisals and plans are regularly reviewed and updated. In the intervening 14 years since the first plans were published there have also been changes to national conservation guidance the most recent being the National Planning Policy Framework 2018. Bury Council has decided, in this context, to undertake a quick review all of its conservation area appraisals/action plans. In the case of Holcombe Village, and based on the 2018 assessment, a mini-review only is required. In addition, the area has recently been the subject of additional planning controls introduced via a Article 4 Direction. These will take some time to impact on the character of the area and a more extensive review in say 5 years time would appear to be prudent.

The full assessment of area significance and detailed discussion of area character in the 2010 document still applies. The approved policies are outlined in the appendix to this paper.

### **Holcombe**

Holcombe Village and its surroundings were designated a Conservation Area by Lancashire County Council and Ramsbottom Urban District Council in 1970. The designation was confirmed in 1974, following the reorganisation of Local Government and the creation of Bury Metropolitan Borough Council. The conservation area was extended via further committee reports in 1978 and in 2011. Part of the Area lies within Holcombe Moor which is owned by the National Trust and the Metropolitan Borough of Bury.

The current Holcombe Village Conservation Area appraisal and action plan was subject to consultation with the local community during 2010 and 2011, culminating in a report to Planning Control Committee in December 2011. The plan was produced by Kathryn Sather and Associates and Committee approved the report as the basis for the management plan for the area. Committee also approved a boundary extension to the south covering parts of Holcombe Brook, Redisher Woods and properties on Redisher Lane. The report has been published on the Council's website but was not transferred into booklet format.

The link to the website is

<https://www.bury.gov.uk/CHttpHandler.ashx?id=5991&p=0>

Holcombe village lies on the shoulder of Harcles Hill, on higher ground due west of Ramsbottom, six miles north of Bury and twelve miles north of Manchester, lying west of the A66, A56 and River Irwell valley. Peel Monument on Holcombe Hill (the unofficial name for the shoulder of the adjacent, higher Harcles Hill) is a local landmark, visible from the south of Bury. Holcombe is a rural area, comprising a series of scattered settlements on steeply rising ground with a small nucleus around the historic road junction where the church and the Shoulder of Mutton Pub are located. The Conservation Area stretches from the northern edge of Holcombe Brook in the south and Higher Barn and Rakes Fold in the north. Peel Monument on Holcombe Hill and Top o' th' Moor Farm mark the western boundary; Lumb Carr Road, the path from Little Holcombe to Dundee Lane and part of Dundee Lane itself (excluding the modern houses) comprise the eastern boundary. While the structure and distribution of the earlier farms have been retained, most such buildings have been adapted for domestic usage. The economic focus of the area is therefore largely residential, although

the natural beauty and its position on the edge of moorland within reach of a major conurbation attracts recreational visitors as well.

The 2010 management plan defined the significance and special interest of the area as follows.

- The unspoilt scattered rural village on the shoulder of a hill, built in tightly knit small hamlets amidst fields of pasture and small woodlands, along old packhorse and turnpike routes, dating from the 17th century and earlier.
- The dominance of 18th and early 19th century residential and agricultural buildings, with very little modern infill, set in gardens in scale with the size of the building.
- The adaptation of an early pre-industrial community with textile home-working to outworking, as demonstrated by the buildings, pathways and handrails which testify to the interconnection between Holcombe and Ramsbottom.
- The high quality of the natural landscape of the Conservation Area and its setting, combining steeply sloping moorland, pasture and woodland, typical of Pennine valleys.
- Views out of and into the Conservation Area. The Peel Monument and the church steeple are important landmarks viewed from inside and outside the area while from within the area there are panoramic views to the north, east and south.
- The comprehensive range of dwelling types from a similar period, ranging from houses of the landed gentry, farmhouses and workers' cottages, often in rows, with appropriate ancillary buildings.
- The large number of buildings of architectural and historical interest, including a large number of statutorily listed buildings as well as many others on the Draft Local List and of similar quality.
- The homogeneity and visual harmony of the buildings resulting from the use of local materials (millstone grit, stone tiles), traditional building techniques (weather struck masonry, stone corbels supporting rainwater goods, coal holes in the walls) and the unity of height and scale. Traditional stone walls along the roads with upstanding stones, several stone troughs, the large number of traditional stone gateposts and use of widespread use of stone sets, utilising local materials.
- The long historical association with hunting and hunting dogs, attracting the interest of royalty, as well as other sporting traditions including cockfighting and the Holcombe Wakes.

The management also raised issues and proposed actions to conserve and protect the area. These were -

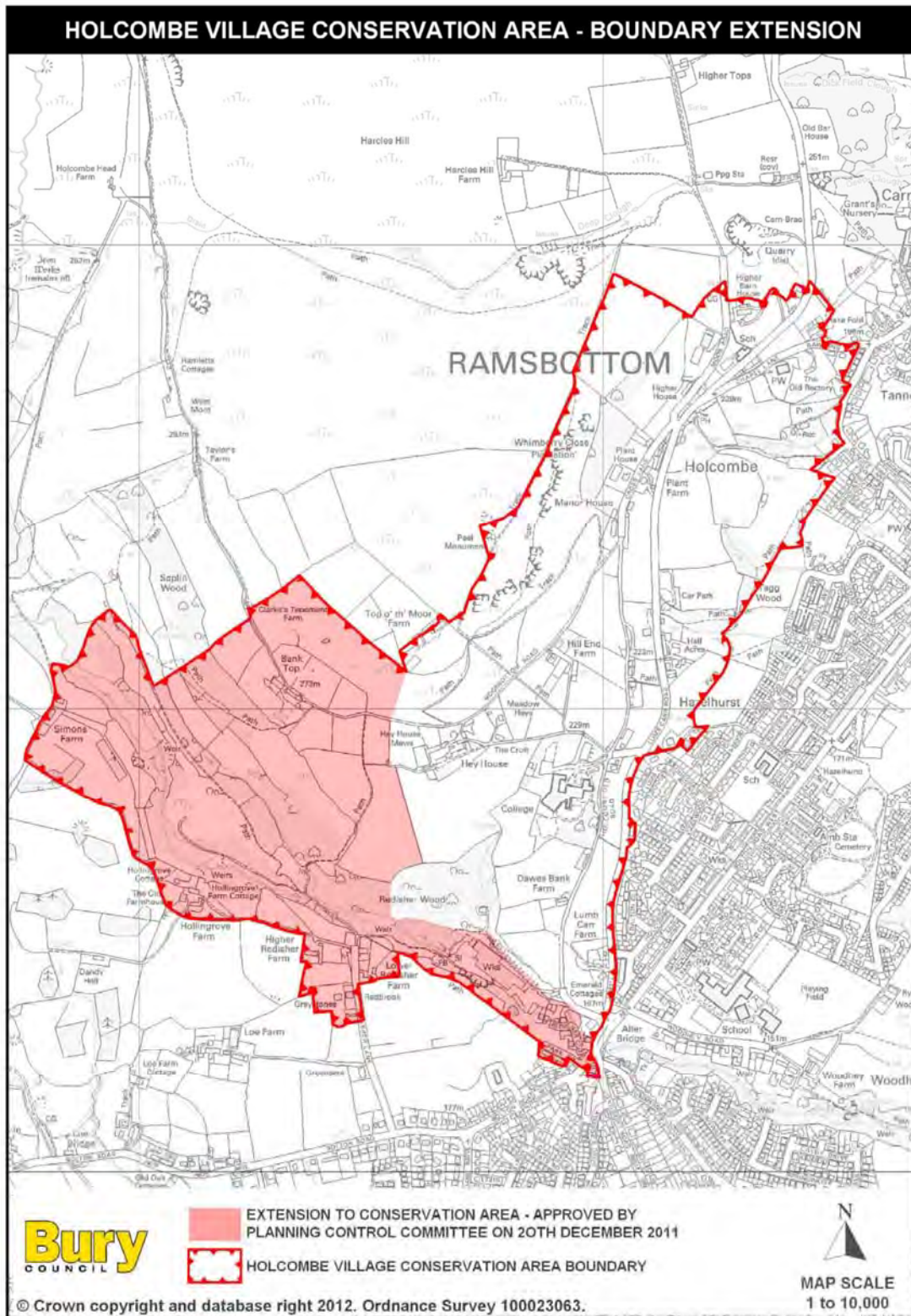
- Poor and unsympathetic quality of the street lighting within the Conservation Area, in particular around the nucleus of Holcombe Village and Little Holcombe, which detracts from the character of the Conservation Area.
- The high speed of traffic through the nucleus of Holcombe village and on Holcombe Old Road.
- The volume of signage around the village centre which is both intrusive and confusing, as well as the number of associated telephone poles resulting in damage to pavements.
- Limited parking and interpretation and inadequate signage of footpaths, reducing the attraction for visitors.
- Garden fences, walls and gates in inappropriate materials styles.
- Infill within garden plots.
- Widespread use of strap pointing and use of dense cement mortar which has the potential to result in long term damage to historic masonry.
- Intrusive and out of character garages.

- Replacement doors and windows in inappropriate styles.
- Overgrown pavements along Lumb Carr Road.
- The poor condition of some drystone walls.
- Spread of Japanese Knotweed and Himalayan Balsam affecting the rural character of the designated area.
- Vandalism of benches around Peel Monument.

The action/management plan put forward actions covering boundary changes, the control of change and protecting significance through the planning control process/enforcement; the better use of underused land, protecting important views/vistas and historic routes; public realm restoration; recommendations for a local list of buildings of special architectural or historic interest; the repair of outworn/vacant buildings; a public realm strategy, and additional facilities to support and encourage visitors.

The actions can be grouped into two areas, firstly highway, street scene, public realm and visitor issues, and secondly better protection, repair and use of historic properties, curtilages and land. The first group requires funding from the Council. Since the beginning of the regime of savings from 2008 onwards there has not been funding to invest in a programme of such works. Sadly, this applies to all the conservation areas covered in the current reviews. However, there has been progress in the second grouping.

Since 2010 the empty barn and cottage at Higher House have been brought back into use as a dwelling, and Higher House itself is now undergoing a scheme of restoration. However the carriage shed at Norcot still remains empty and appears to be neglected, and this position needs to be monitored. No other property in the conservation area requires restoration, though it is noted that part of the grade II\* Hey House has been empty for a considerable period. Committee approved the alteration to the conservation area boundary in 2011 following the production of the management plan. The plan also recommended the bringing in of additional controls to better protect the area from inappropriate alterations and extensions. To achieve this an Article 4 Direction has been approved by the Council, and following consultation this came into force in 2017. A period of settling-in is required before the impact of these additional controls can be seen. A review of this is recommended after 5 years. In other reviews it has been noted that although some general guidance has been issued by the Council covering the alteration and extension of buildings in conservation areas, further more detailed and targeted guidance is required to help residents to respond positively to the additional controls. No other action is recommended for this conservation area for the time being.



The appendix below contains the policies approved as part of the 2010 review and management plan. These still apply to the conservation area. Changes to government



legislation and guidance, and in grant arrangements, have taken place since 2010 and these may affect the terminology used and the funding available.

## **Appendix. 2010 Management Plan and Policies**

### **Section 9 Conservation Area Study**

#### **9.1 Introduction**

The Conservation Area Character Appraisal has provided the basis for developing a study on control of development and change and proposals for enhancement for the Conservation Area. National conservation guidelines place a responsibility on the local planning authority to formulate and publish proposals for the preservation and enhancement of conservation areas and, in exercising their planning powers, to take into account the desirability of preserving or enhancing their character or appearance. The Conservation Area Character Appraisal and the proposals contained within this study were prepared for circulation to residents as part of a consultation process.

The Holcombe Conservation Area is generally a very well preserved area where the character of the 18th century pre-industrial village is being preserved while individual buildings and businesses have and are undergoing careful and sensitive conservation and adaptation to maintain their viability in the 21st century. The impact of motor traffic in increasing volume has had a major impact during the twentieth century on the appearance of the village, both with regard to through traffic in the heart of the village and to the construction of garages or adaptation of buildings to this purpose, in particular the visual impact of large garage doors. Although generally conversions have been done to a high quality, in particular more recent developments, some erosion of detail has taken place in terms of more suburban boundary treatments and unsympathetic fencing, the introduction of satellite dishes and the replacement of doors and windows. Separately the municipal lighting and signage provided on Lumb Carr Road is intrusive and detracts from the character.

Conservation policies recognise that change takes place and that individuals wish to improve their properties and environment. What the policies seek to do is to guide the way changes are made so the traditional character of the area is preserved. A successful conservation policy depends to a large extent on the participation and support of all owners and occupiers of properties in the Conservation Area, of all other authorities who have statutory responsibilities within the designated area and of the public generally. The Council hopes that the publication of the draft proposals will help to kindle interest and support which are necessary if an area is to be successfully conserved. Other alterations, such as replacement of street lamps and original pavement materials, introduction of signage and so on, relate to works of maintenance and road safety measures carried out by the Council. Such works are essential for the safety and comfort of residents but there may be scope for replacing some elements with those in more sympathetic materials as routine repairs and replacements are undertaken.

As well as guarding against damaging alteration, the study aims to consider how the area can be enhanced and to ensure that modern needs can be catered for in a sensitive way. The study is divided into three sections. The first sets out policies for the preservation of the special interest of the area, while the second relates to general proposals for enhancement.

The final part of the study contains proposals for various specific sites that have been identified as opportunities for development or enhancement. There is no time scale allotted to the actions put forward. The Council is required to prepare plans for all its conservation areas and it is not currently possible to do this and also take up all the actions resulting from all of its plans.

## **9.2 Policies for the Control of Development and Change**

The following policies are directed at ensuring that change is in sympathy with the area's character. These should be read in conjunction with the Council's publication *Living in a Conservation Area* which gives general guidance on conservation areas and explains when planning permission is required for the alteration and extension of dwellings. They should be taken into account when consideration is being given to proposed alterations and when guidance is required, subject to public views and consultation.

### **Suggested Boundary Changes**

Best practice guidance contained in PPG15 and English Heritage guidance<sup>19</sup> states that the boundaries of existing conservation areas should be kept under review. Parts which are no longer special should be excluded. Where drawn too tightly, the conservation area should be extended to include more recent phases or plots associated with buildings of historic interest. The Conservation Area Appraisal considered that it is now recognised that conservation area boundaries need to be seen within a wider context of urban development. Designated areas should provide protection to buildings that were perhaps not previously considered to be of architectural merit and to the spaces between buildings, such as streets and neutral areas. It is also the case that further information can come to light about the historic importance of buildings and spaces.

It is therefore considered appropriate to protect the area lying to the north of current Conservation Area boundary, containing the farms and settlements of Harcles Hill Farm and Tops Farm as well as the Old Bar House. Holcombe is a village community of scattered settlements, many at some distance from the historic core of the village. These settlements are considered no less part of the community than other similarly outlying settlements such as Top o' th' Moor Farm and all the buildings are found on the 1842 Tithe Map. They lie on the same contours of the village, well above Ramsbottom.

**Action 1** Amend the boundary of the Conservation Area as shown on the proposals map to include: Harcles Hill Farm and the area of the old sandstone quarry to the south of Deep Clough; Tops Farm off Moor Road; The Old Bar House on Helmshore Road. Specifically the boundary should follow the historic Church Gate public footpath (number 30) westwards from the northwest corner of field 1410, linking with footpath no 32, going north across Deep Clough, and taking footpath 31 westwards to the southwest corner of Harcles Hill Farm. From this Harcles Hill Farm's north-east corner the boundary would extend north across a short section of moorland to enclose the field on the west of Moor Road opposite Tops Farm and then eastward on footpath 68 to Helmshore Road. From this point the revised boundary runs south along Helmshore road to join the existing boundary.

## **Future Demolition**

Legislation provides for control over the demolition of buildings in conservation areas (subject to various exceptions). Paragraph 4.27 of PPG15 – Planning and the Historic Environment indicates that 'The general presumption should be in favour of retaining buildings which make a positive contribution to the character or appearance of a conservation area'. It goes on to indicate that proposals to demolish such buildings should be assessed against the same broad criteria as proposals to demolish listed buildings (paragraph 3.16 – 3.19 of PPG15). The Significant Buildings map accompanying this document identifies all buildings within the designated area and the suggested boundary extensions which are proposed for addition to the Draft Local List and those which make a positive contribution to the townscape. There should be a presumption against the demolition of all these buildings.

**Action 2** The Council will only grant conservation consent for the demolition of a building proposed for the Draft Local List or a building that makes a positive contribution to the townscape of the Conservation Area (as identified on the Significant Buildings map) if it has been fully justified against the criteria laid out in PPG15 paragraphs 3.16 – 3.19.

## **Minor Alterations and Extensions**

Any work that materially affects the external appearance of a building requires planning permission, subject to certain permitted development rights. Under normal planning control certain works to dwellings are classified as permitted development and do not require planning permission. This includes small alterations and extensions, the erection of buildings, enclosures or pools required for a purpose incidental to the enjoyment of a dwelling house (such as a swimming pool), the provision of some hard surfaces and the erection of and alteration to boundaries. However, within conservation areas some development (that in other areas would be permitted development) are not classified as permitted development. This includes various types of cladding, the insertion of dormer windows and the erection of satellite dishes on walls, roofs and chimneys fronting a highway.

Within conservation areas, the size of extension that may be erected without special planning permission is also more restricted. Work that affects the external appearance of a building can include the replacement of doors and windows, particularly if it involves a change in the design or use of a modern material, such as plastic (PVC-u). The accumulative effect of door and window replacement is beginning to damage the character and appearance of the Conservation Area. The effect of further alterations of this nature will seriously erode the special nature of the area, which is the reason for its designation.

**Action 3** Where planning permission is required, the Council will resist the replacement of doors and windows which would adversely affect the appearance of the building and where the proposal would be detrimental to the character of the building or to the character of the wider Conservation Area.

The traditional materials used for the external walls of the buildings establish the appearance of the Conservation Area.

**Action 4** The Council will resist all proposals to clad buildings with materials that are not appropriate to the appearance of the Conservation Area.

The widespread erection of satellite dishes and communications equipment on buildings would have a detrimental impact on the appearance of the Conservation Area.

**Action 5** Where planning permission is required, the Council will resist all proposals that involve the erection of satellite dishes and communications equipment in prominent locations within the Conservation Area.

Extensions to buildings can be detrimental to their appearance either because of their location, size or design. Extensions (including porches and canopies) on the front or principal elevations of buildings should be avoided as these elevations have usually been carefully designed. Extensions at the side or rear are generally to be preferred, except where these elevations have also been carefully designed or are open to public view. Given the gradients within the Conservation Area, rear extensions are often as visible as those on the front elevation. Extensions should be subordinate to the building to which they are attached, should use similar or complementary materials, and should reflect or complement its style and appearance.

**Action 6** The Council will resist proposed extensions that are too dominant, in a prominent location, or are otherwise detrimental to the character of the buildings to which they are attached, or to the character or appearance of the wider Conservation Area.

#### **Article 4 Direction**

Local planning authorities may remove (or apply for approval to remove) permitted development rights by way of an Article 4 Direction. This means that certain developments what would otherwise not require planning permission would be brought under control. The effect of the alterations and extensions that are possible under permitted development rights, such as the erection of small porches, extensions and garages and the alteration of boundary walls, have begun to damage the character and appearance of the Conservation Area. The accumulative effect of further alterations of this nature will seriously erode the special interest of the area, which is the reason for its designation.

**Action 7** The Council will consider implementation of an Article 4 Direction (removing permitted development rights set out in Classes A, B, E, F and G of Part 1 of Schedule 2 of the Town and Country Planning (General Development Order) 1995).

#### **Boundary Walls**

Many of the properties in the Conservation Area have low stone retaining walls and small gardens, sometimes with traditional gateposts, along their boundaries and these are an important feature of the area, contributing to its character and appearance. The walls and gardens along front boundaries are very important within the street scene, contributing to the village identity. Proposals for higher boundary treatments restrict traditional views while unsympathetic fencing or wrought iron proposals may be too suburban in character.

**Action 8** As part of proposals that require planning permission, the Council will discourage the removal of stone walls and gate posts that contribute to the character or appearance of the Conservation Area.

## **Land Use**

The character of the Conservation Area largely relies upon the existing pattern of land uses, while recognizing that the nature of the use of agricultural land may need to adapt to ensure economic viability, exemplified by the number of stables within the Conservation Area. There has been an ongoing process of changes of use of buildings from agricultural or commercial to residential. Any major changes to land uses can affect this character. However a sense of the community's history including the tradition of home working, past retail and commercial businesses should be retained when considering potential changes of use for other than residential purposes.

**Action 9** The Council will consider carefully how proposals for the change of use may affect the character of existing land or buildings within the Conservation Area.

## **Landscape Issues**

Section 211 of the Town and Country Planning Act 1990, as amended, requires that anyone proposing to cut down, top or lop a tree in a conservation area must give six weeks notice to the local planning authority. The purpose of this requirement is to give the authority and opportunity to make a tree preservation order.

**Action 10** The Council will generally resist proposals to cut down, top or lop trees in the Conservation Area. When trees are removed or die they should be replaced with new trees of appropriate species and size.

The predominantly open, rural appearance of the Conservation Area, arising from the numerous fields with dry-stone walls, existing gardens to properties, and other open areas integral to the individual dispersed settlements, is very important to its character. These spaces need to be protected from built development.

**Action 11** The Council will resist all proposals to develop the open spaces within the Conservation Area with buildings.

## **Unused or Underused Land**

New development in unused or underused land needs to be appropriate for the character of the Conservation Area in terms of size, massing, style and materials. The Conservation Area Appraisal notes that the layering of history in the Conservation Area is of interest. However, the introduction of additional large volume buildings could damage the mix and the surviving patterns of plots that give interest to the Conservation Area. In general terms, high volume buildings can threaten the scale and grain of the Conservation Area and could be intrusive here. The Conservation Area is not homogenous in built form and larger buildings currently within it include the larger houses such as Hey House, Higher House, Plant House and Higher Barn. This recommendation seeks to ensure that the scale and grain of development is appropriate, in accordance with advice contained in paragraph 7.9 of the English Heritage document Guidance on the Management of Conservation Areas.

**Action 12** Any new development should ensure that the footprint and massing of new buildings fits into the existing urban grain and respects the historic character of the Conservation Area.

## **Setting of the Conservation Area**

The Conservation Area Appraisal identified that the setting of the Conservation Area is very important. The suggested boundary extensions have taken the need to protect the setting of the Conservation Area into account.

**Action 13** The Council will take the setting of the Conservation Area into account in any proposal for new development outside its boundaries.

## **Planning Documents and Guidance**

Although some relevant general Supplementary Planning Guidance Notes are available, as is the Council's publication on conservation areas, residents would benefit from formal guidance directly applicable to this Conservation Area. This would provide design guidance on extensions and alterations.

**Action 14** The Council will prepare a design guide for the Conservation Area to provide advice and guidance for residents on the subject of extensions and alterations which will form a material consideration in planning applications.

## **Suggested Monitoring and Enforcement Arrangements**

English Heritage guidance recommends the development of procedures for monitoring change in conservation areas on a regular basis (every five years), such as photographic surveys and recording.

**Action 15** A mechanism for monitoring change on a regular basis will be developed.

English Heritage guidance also recommends that the special character of conservation areas is protected and enhanced by enforcement of the controls applied. In March 1998, the Cabinet Office, in partnership with the Local Government Association, published the central and local government Concordat on Good Enforcement, a voluntary non-statutory code setting out best practice.

**Action 16** The Council will continue to take enforcement action within the Conservation Area where appropriate.

## **9.3 Proposals for Area Enhancement**

### **Protection and Enhancement of Important Views and Vistas**

It is important that the significant vistas and linear views (visual axes) are preserved from encroachments, inappropriate developments or loss of enclosure. The quality of these vistas and visual axes is subtle, and is subject to a wide variety of potential threats including demolition of corridor walls, installation of street signage and other visual clutter, or encroachment by large buildings, projecting signs, advertisement hoardings and so on. These threats will need to be assessed and managed as they arise. There are dramatic views into the Conservation Area from the south, where the dominant landmark of Peel Tower on the top of Holcombe Hill is already visible on the road leading north into Bury. There are panoramic views from Lumb Carr Road, Hey House and Norcot and higher up Holcombe Hill out of the Conservation Area to the northeast to Shuttleworth Pike and eastwards to the Pennines beyond the Irwell Valley as well as south towards the Peak



District, Staffordshire and Cheshire. In addition, the views within the Conservation Area are many and varied, including views from the south at the Holcombe Brook road junction looking north across the fields of Lumb Carr Farm and Dawes Bank Farm to the moor, looking west uphill from Lumb Carr Road and Tower House and north from this point to the church and the hill beyond. From Higher Barn there are views south into the village and of the hill.

**Action 17** Important vistas and visual axes will be preserved and enhanced including: Views of Peel Monument from the south, east and north; Panoramic views from Lumb Carr Road and Holcombe Hill; Visual axis at the junction of Cross Lane and Lumb Carr Road; Visual axis at the junction of Helmshore Road and Chapel Lane;

### **Highways, Footways, Lighting and Signage**

It is also important that the plan form of historic routes is respected as this has affected the present character of the Conservation Area.

**Action 18** Protect the following historic routes from amendment to their plan form wherever possible within the scope of the Planning Legislation: Holcombe Old Road (previously Holcombe Ancient Highway); Moorbottom Road; Moor Road;

The Conservation Area Appraisal identified a loss of historic street and pavement surfaces which are now mostly tarmac and have a negative effect on the character of the area.

**Action 19** The Council will work to restore the traditional appearance of the streetscape and consult the Conservation section on future enhancements to the footpaths in its ownership in the Holcombe Conservation Area.

The traffic through the village is affecting the setting of the current Conservation Area. Any future public works to the carriageway should take full account of the potential effect they will have. Pavements and crossings must be suitably maintained and improved in order to facilitate their use by pedestrians.

**Action 20** The Council will seek to improve the control of traffic flow and pedestrian access across the streets of Holcombe. It will seek to ensure that new and existing hard surfaces, road signage and other items of street furniture will preserve the special character of the Conservation Area.

### **Repair and Improvement of Buildings**

Holcombe Conservation Area is characterised by varied pitched roof forms. The original roofs are covered with local stone flags or natural slate.

**Action 21** If re-roofing is required, salvageable slates should be re-used where possible, the balance being made up of reclaimed material. The use of concrete or clay tiles or synthetic slates would be inappropriate. Where possible semi-detached houses and terraces should be reroofed as a whole to preserve a unified appearance.

Stone and brick chimney stacks with clay pots make a strong contribution to the skyline and add to the character of the area.

**Action 22** Chimney stacks and pots should be retained at their original height with their original banding and detailing although the flues may not be in use.

The Council also supports the following broad guidance:

Repair of traditional and decorative external woodwork is preferable to replacement. Window sills which require replacement should be cut out and replaced with new matching timber pieces joined in a traditional way. Where windows and doors have deteriorated beyond repair, consideration should be given to having new units made to the original design, rather than replacing them with modern standardized alternatives. Replacement windows should be timber, which should be painted. Joinery should be painted rather than stripped or stained.

Where possible new alarm box and satellite dish fittings should be mounted below eaves level and at the rear or side of the property. Main elevations should remain uncluttered. See-through mini satellite dishes cause the least harm. Where replacement of rainwater goods is necessary, off-the-shelf PVC-u is seldom appropriate. There are convincing copies of cast-iron and timber sections in other materials that are lighter and less expensive. The installation of additional and new pipe work on the front or primary elevations should be avoided.

External brickwork and stonework should not be painted and, if it is to be cleaned, a non-abrasive method should be used. Careless repointing can seriously affect the appearance of the property and the work should only be entrusted to an experienced contractor using a weak mortar mix and traditional pointing method.

Some of the buildings within the Conservation Area have lost their original doors, windows and other features. As a result their character has been eroded. As proposals come forward for alterations and extensions, there may be an opportunity to encourage the reinstatement of such features.

**Action 23** The Council will encourage the reinstatement of doors, windows and other features to their original pattern.

Buildings which are not of national significance do not merit statutory listing, yet many areas have not been surveyed for relisting recently and may contain buildings of listable quality. However, buildings which are valued for their contribution to the local scene, or for local historical associations, may be included on lists of locally important buildings. The Heritage Protection White Paper encourages the use of local designation to provide communities with the opportunity to identify and manage those aspects of their heritage that are important to them. Local planning authorities may formulate policies for their protection through development control procedures. Buildings and artefacts which contribute to the character and appearance of the Conservation Area are identified in Appendices 3 and 4.

**Action 24** The following buildings and artefacts within the conservation area are identified as being of local architectural or historic interest – the ‘Draft Local List’. They do not enjoy the full protection of statutory listing:

Hill End Farm, Holcombe Road/Moorbottom Road (SMR 10076.1.0)

Stony Bank, Helmshore Road (SMR 10072.1.0)

Rainbow Cottage, Holcombe Old Road (SMR 10077.1.0)

Top o' th' Moor Farm, Moorbottom Road (SMR 10108.1.0)

Plant House, Cross Lane (SMR 15646.1.0)

Hare & Hounds Public House, Bolton Road West, Holcombe Brook (SMR 15647.1.0)

Darul Uloom (also known as Lower Hey House, Holcombe Hall and Aitken Sanatorium), Holcombe Old Road (SMR 15656.1.0)

Higher Barn, Helmshore Road/Moor Road (SMR 10073.1.0)

Wood Side, Dundee Lane (SMR 10074.1.0)

Merchants Row, Lumb Carr Road (SMR 10075.1.0)

Two further buildings on the Draft Local List lie within the proposed extension to the Conservation Area:

Old Bar House, Helmshore Road (SMR 10059.1.0)

Harcles Hill Farm (Booth's Close), west of Helmshore Road (SMR 10067.1.0)

The Conservation Area Appraisal identified two buildings on the draft local list which have been altered and may no longer meet the criteria. Rainbow Cottage on Holcombe Old Road was virtually rebuilt about ten years ago and while it retains the original footprint, much has been altered. Secondly Top o' th' Moor Farm was largely destroyed by fire following an arson attack in the late 1970s.

**Action 25** The following buildings within the conservation area, identified as being of local architectural or historic interest – the 'Draft Local List' have been altered and should be removed from the 'Draft Local List'.

Rainbow Cottage on Holcombe Old Road

Top o' th' Moor Farm

The Conservation Area Appraisal has also identified several buildings and structures, both within the existing conservation area and within the proposed extension, which appear to meet the criteria for inclusion on the Draft Local List.

**Action 26** The following buildings and artefacts within the conservation area are identified as being of local architectural or historic interest and should be considered as additions to the 'Draft Local List':

Dawes Bank Farm, Holcombe Old Road

Dawes Bank, Holcombe Old Road

Lumb Carr House, Lumb Carr Road

73-75 Lumb Carr Road

The Hamlet of Little Holcombe

The Gate House, Holcombe Old Road

Norcot, Moorbottom Road (house and carriage house)

Stone Cottage, 111-115 Holcombe Old Road

109 Holcombe Old Road

Higher House Barn and Cottage, Moor Road

Weaver's and Pinfold Cottages, 43-45 Cross Lane

Heather Cottage, Cross Lane

Stumps Cottage, 1 Cross Lane

Printers Row, Helmshore Road

Lych Gate, Emmanuel Church

2-4 Lumb Carr Road

Water Trough and Curved Stone Retaining Wall on Helmshore Road

Water Trough on the Drive up to Hey House

Water Trough on Corner of Cross Lane and Moorbottom Road

Water Trough on Lumb Carr Road

Stone Water Tank, Helmshore Road

stone Gate Posts at Whirlwind Gate (top of Moor Road)

Stone Flagstones outside Merchants Row

Handrail on Chapel Lane

Standing Stone in Knoll Field, adjacent to Holcombe Field

Stone Setts outside Exeter Bank and Higher House

Joseph Strang Cast Iron Street Lamps, Holcombe Old Road

Heritage-led regeneration has a key role to play and funding of historic building repair and restoration would assist with achieving wider aims for the area while preserving and enhancing the special local character. Possible sources of funding would include the Heritage Lottery Fund, English Heritage and the Regional Development Agency. A 'building at risk' is defined as one in a poor state of repair and often vacant and redundant from its original use. The buildings are at risk of loss or further deterioration unless action is taken to

arrest the neglect and decay. An example of this can be found at the carriage house attached to Norcot, which is in poor condition, particularly the roof.

**Action 27** Opportunities to secure funding for the preservation and enhancement of statutory listed, or draft local listed buildings in the Conservation Area will be pursued. Particular attention will be given to the following 'heritage at risk': The Carriage House attached to Norcot, Moorbottom Road. The Council will encourage appropriate maintenance of historic buildings. The Council will continue to monitor the condition of its listed buildings on a regular basis and consider using its powers to serve urgent works or repairs notices where necessary. Buildings within the existing and proposed extensions to the Conservation Area were identified in the Appraisal as being at risk.

Urgent works and repairs notices can be very effective in helping to secure the future of historic buildings and sites. Local authorities should make full use of their statutory powers if listed buildings, or unlisted buildings that contribute positively to the special interest of a conservation area, are falling into decay.

**Action 28** Action may be considered under Section 215 of The Planning Act 1990, and/or sections 48, 54, and 76 of the Planning (Listed Buildings and Conservation Areas) Act 1990 to secure the repair of listed and unlisted buildings within the Conservation Area, and to ensure that untidy lands and sites are addressed where appropriate.

### **Removing Environmental Problems**

The Character Appraisal identified certain environmental problems which are having a detrimental effect on the character of the Conservation Area. Local residents are in the best position to report such problems and the Council should work with residents' groups to clear up in an appropriate and timely manner.

**Action 29** The Council will work with residents to respond to reports of environmental problems and will clear up in an appropriate and timely manner.

### **Landscape and Trees**

Trees are a particular feature of the Conservation Area but they mature and die. Therefore every effort should be made to provide for new and replacement tree planting within new developments.

**Action 30** The Council will encourage the planting of new and replacement trees of appropriate species and size where appropriate as part of all developments within the Conservation Area.

### **Public Realm**

Within the Conservation Area there is a variety of materials used for paving. Along some roads, such as Holcombe Old Road, stone setts remain but elsewhere tarmac has replaced the traditional materials. This is detrimental to the character and appearance of the area. Any future public works to the carriageway should take full account of the potential effect they will have. Pavements and crossings must be suitably maintained and improved in order to facilitate their use by pedestrians. Best practice for the management of historic streets is contained in English Heritage guidance.

**Action 31** The Council will prepare a public realm strategy that can be used to provide a consistent and appropriate approach to all works within the public realm, including work by utility companies. Subject to external grant support, the Council will produce and implement a programme of reinstatement and enhancement to the public realm.

### **Redevelopment Opportunities**

Within the Conservation Area all proposals for development are opportunities to enhance the character and appearance of the designated area. It is therefore important for full details (including detailed plans, sections, elevations and landscape proposals) to be available as part of the planning application.

**Action 32** The Council will not consider an application for planning permission for development within the Conservation Area unless it includes full details of all elements of the proposal.

**Action 33** The Council will expect any proposal for a development within the Conservation Area to include a full analysis of the surrounding area. Proposals should respond to the surrounding development in terms of scale, height, massing, alignment, style and materials. All proposals should protect or enhance the character and appearance of the Conservation Area. Proposals should show how they conform to the criteria laid out in PPG15 paragraphs 4.14 and 4.16-4.20.

The Character Appraisal identified intrusive buildings and sites and opportunities to improve them should be sought to ensure the preservation or enhancement of the character and appearance of the Conservation Area, in accordance with Section 72 of the Planning (Listed Buildings and Conservation areas) Act 1990.

**Action 34** Opportunities for the improvement of the intrusive buildings and areas identified within this Appraisal will be sought, should an application for planning permission be submitted on those sites.

### **9.4 Site-specific Proposals**

The previous two sections have set out a general approach for the preservation and enhancement of the Conservation Area. However, there are a number of sites within the designated area that have been identified as opportunities for development or enhancement. These are considered below.

The Drying Ground Along the east side of Lumb Car Road, next to the garden of 1 Lumb Carr Road, is a stone walled area below the level of the pavement. This enclosed area was built as a drying ground, allowing clothes to be dried communally out of doors. This interesting remnant of communal village life is now very overgrown and derelict.

**Action 35** The Council, together with the Holcombe Society, should repair the walls and clear the undergrowth from this area, to allow better appreciation of this aspect of the history of the village.

**Peel Monument** The Peel Monument, owned by Bury Council, is a key landmark within the conservation area, a focus for visitors to the village and an access point for the surrounding moorland, which is managed by the National Trust. Internally, the Peel Monument is wet and



needs repair work. The Tower is open at weekends, staffed by volunteers. The benches at the Tower have been vandalised. The only vehicular access to the Tower is over a rough unpaved road.

**Action 36** The Council should work with local landowners, including the National Trust, to upgrade the vehicle access to the Tower and surrounding moorland.

**Action 37** The Council should carry out a repair and restoration project at the Tower.

**Action 38** The Council should improve visitor facilities at the Tower, including installing vandal proof benches.

### **Car Parking**

Insufficient public car parking is an issue for both visitors and residents of Holcombe village. The existing public car park, on Lumb Carr Road, a short distance out of the village centre, is useful for visitors, especially walkers going to Peel Monument, but it is not of sufficient size on busy days. A larger car park will encourage additional visitors.

**Action 39** The Council should consider extending the existing car park on Lumb Carr Road.

### **Interpretation**

There is a lack of interpretation and a lack of understanding of the interesting, unusual and special character of the village and surrounding area. Provision of this information may assist in the appreciation of the quality of the village and may encourage visitors.

**Action 40** The Council should consider working with the Holcombe Society to produce a Village History Trail, or other leaflet, which can provide some interpretation and encourage visitors.

**Action 41** The Council should consider working with the East Lancashire Railway to encourage people to include a walk up to Holcombe as part of a train journey.

**Action 42** The Council should consider installing interpretation panels at the public car park on Lumb Carr Road and within the village centre.

### **Signage of Footpaths and Bridleways**

There is insufficient signage of footpaths and bridleways, including signage of footpaths to the Peel Monument. Additional clear signage will encourage visitors, both walkers and bikers, to visit in the village and surrounding area.

**Action 43** The Council should consider a programme of footpath and bridleway signage in the Holcombe village area.

### **Spread of Japanese Knotweed and Himalayan Balsam**

Japanese Knotweed is reported in the churchyard and school grounds. Himalayan Balsam is reported in the field adjacent to the churchyard and elsewhere within the conservation area. These invasive species are out of character for the area, and have a negative effect on the character of the rural village.

**Action 44** The Council should consider what assistance they might provide to help control the spread of the Japanese Knotweed and Himalayan Balsam within the conservation area.

### **Overgrown Hedges**

#### **Along Lumb Carr Road**

The hedges along Lumb Carr Road are very frequently so overgrown that they overhang along the pavement preventing clear access for pedestrians. This discourages use of the public car park and discourages pedestrians.

**Action 45** The Council should cut the hedges along Lumb Carr Road with greater frequency to allow pedestrians clear access along the pavement from the public car park into the village.

MN May 2018 and updated December 2018

## **Review of Mount Pleasant/Nangreaves Conservation Area Appraisal and Action Plan. December 2018.**

### **Introduction/Background**

The area was designated a conservation area in 1974 and the original appraisal/action plan was published in 2004 following research and an assessment of the area, and consultation with residents and local groups. It outlined the history of the area, the qualities of its architecture and environment, and put forward proposals for accommodating change and ensuring that the character of the area was preserved and enhanced. It also put forward guidance for the alteration and extension of buildings.

The Council's website link for the 2004 plan is

<https://www.bury.gov.uk/CHttpHandler.ashx?id=2782&p=0>

Historic England, the primary heritage advisory body in England, and other heritage bodies, recommend that appraisals and plans are regularly reviewed and updated. In the intervening 14 years since this plan was published there have also been changes to national conservation guidance most recently the National Policy Planning Framework 2018. Bury Council has decided, in this context, to review all of its conservation area appraisals/action plans.

It is not necessary within the review to revisit the history and origins of the area. It may be necessary to review what is significant about the area's heritage, as this may help to guide future decisions on proposed changes. It will be important to note what has happened since 2004 and how successful the action plan has been. The review should note threats to the area's character and opportunities for its enhancement, and make recommendations about the way forward,

The main areas of the review are : -

### **Area Significance 2016**

### **Changes from 2004 to 2018**

### **Threats and Opportunities**

### **Recommendations**

### **Area Significance 2016**

Much of what was written about the heritage significance of the area in 2004 still applies. The village is important due to its history, isolation and setting, and to its layout, form, materials and details. These factors were outlined in detail in 2004. Some subtle changes to the area are outlined below.

### **Changes from 2004 to 2018**

In 2003/04 the Council approved a number of actions aimed at protecting and restoring building detail within the area. This was based on a 2003 survey of the area that listed unauthorised works and alterations that had occurred in previous years, many of which adversely affected the area character. These were primarily alterations to windows and doors and the obtrusive location of alarms and tv dishes. Since 2003/04 there has been a steady process of restoration where unfortunate works have

been rectified (for a short period with the aid of grants from the Council) and new works in listed buildings have been largely in line with the guidance issued by the Council. However, in 2011, in response to an appeal against refusal of permission, a decision to allow Upvc windows in a dwelling fronting Walmersley Old Road was made by a government inspector. In the light of this a policy change was made by the Council to allow Upvc frames in non-listed properties, and in 2014 Upvc windows and non-timber doors were allowed on appeal, again in non-listed dwellings. In all cases these were subject to strict design controls. Consequently, the design guidance issued in 2004 has been adjusted for windows/doors in the unlisted buildings in the area. All other guidance remains as issued.

When the area was designated a conservation area in 1974 its location was more exposed with little local tree planting, and no formal village landscaping. Natural tree growth and new planting regimes have gradually changed its setting. The village is now very different from its 1974 setting, with large areas of trees to the south and west. This has had an impact on views both into and out of the area, with significant changes since the 2004 action plan. Some wooded areas have become extremely dense and overbearing. Landscaping came to the village with the mill conversion in the 1980s, creating the village green from the mill lodge, and new planting, and with the laying out of the playing field and gardens at the lower end of the village. In addition, individual gardens have developed, new garden decking has been built and some community planting has taken place. This has led to a move away from the harsher village character at the time of conservation area designation and towards a much softer environment. The soft landscaped areas are well managed and the residents association is understood to have undertaken additional planting.

In the 1980s the sett roadway was built within the village and the mill conversion set out the communal areas within the development. Whilst some areas have survived well others have not. The sett roadway is in need of repair and maintenance, as is the communal area within the mill conversion. Generally, there may have been some issues with utility repair, and who is responsible for roadways and full restoration. There are also some stone walls that require assessment and possibly repair.

Since the filling in of the mill lodge there have been questions about how water drains around the village and with some problems associated with undermining land and walls. The most significant of these has been at the steps between the terraces at the lower level village. In this case it appears that the repair and restoration of the steps was ultimately carried out by local residents. Water drainage generally, however, may be an ongoing issue.

There remains an issue of car parking provision in the village. Although provision was increased some time ago via new rented spaces in the lower area this continues to be inadequate, and with no additional provision in the upper area. Areas of car parking can if either badly designed or loosely controlled cause harm to the character of an area.

Generally, the condition of buildings within the area was satisfactory in 2004, with slight concerns over the appearance of parts of the Mill House, a listed property, possibly one of the earliest in the village. This property had continued to deteriorate in the intervening 14 years but has now been sold and is undergoing restoration. The Lord Raglan PH, also a listed building, has recently closed and is for sale.

There have been changes in the way the protection of the historic environment is administered through the planning system. Whilst it does not change the general direction of protection it does change how issues are addressed. In order to make judgements about proposed changes to important buildings (heritage assets) their significance must first be assessed, and the proposals justified in terms of their impact on that significance. If there is harm to that significance, then the proposals are not acceptable. There is an onus on the applicant to seek expert advice to deal with these issues, and to prepare a heritage statement to support any application.

## **Threats and Opportunities**

The threat of loss of character that was identified in the survey of 2003/04 appears to have been halted. Whilst not all matters identified in 2003 have been resolved they have been partly reversed for the listed buildings, and with no new unauthorised works being reported. In terms of the windows and doors in the unlisted properties it will be important to ensure that materials, colours, details and fixing are correct.

There is a real concern that the areas of woodland will further damage the area character. These areas have grown to be far too dense, restricting access, blocking off views, restricting light, creating management problems and in some locations giving an oppressive atmosphere. Whilst the private and community gardens have softened (altered) the original character of the area, they reflect pride in the local area and should not be discouraged.

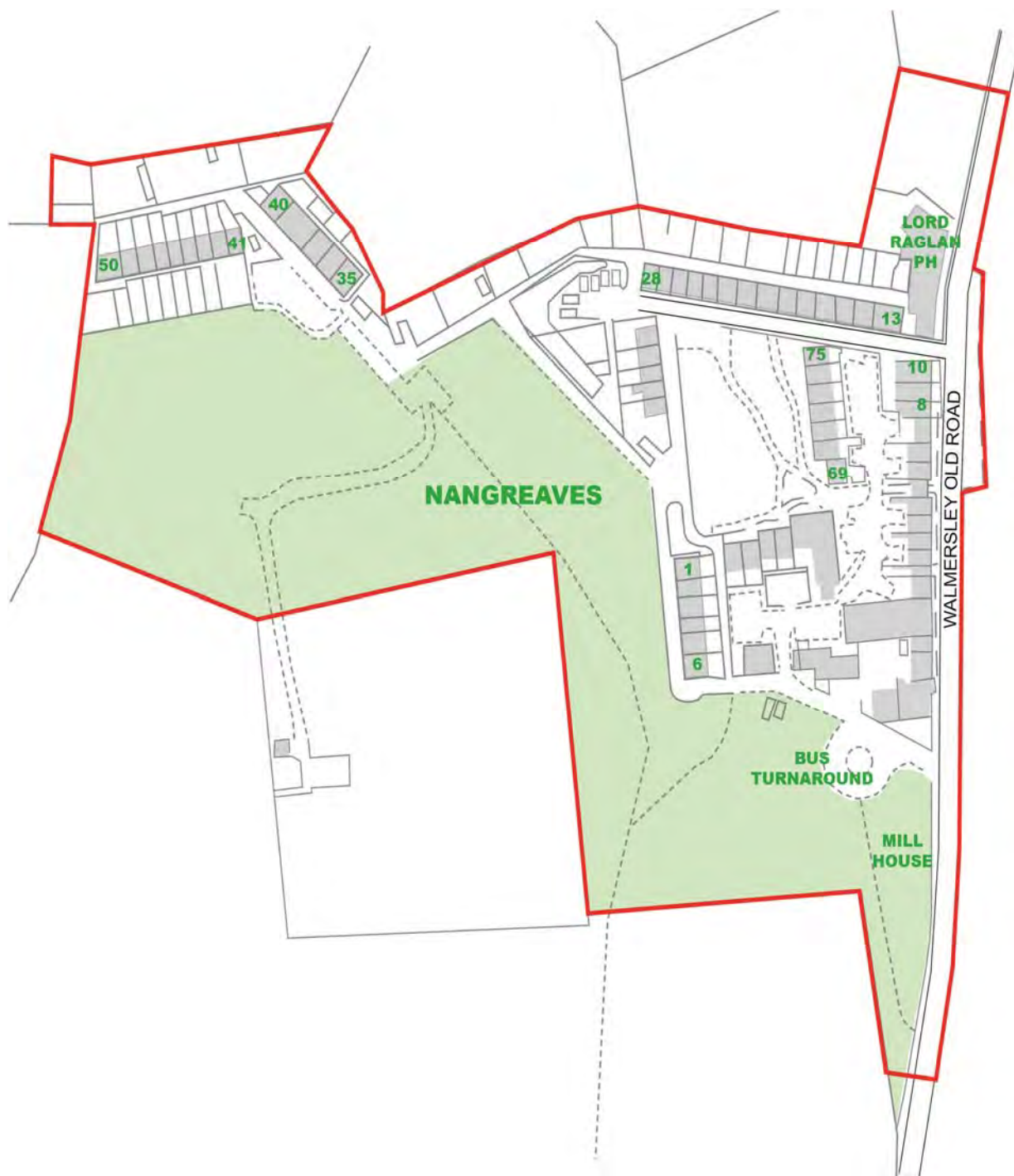
The issues of car parking, the condition of the sett roadway, walls, street lighting, and water drainage were all raised as matters for enhancement in the 2004 action plan. These are still outstanding matters, and there has been deterioration since 2004.

The future of the Lord Raglan needs to be monitored. Ideally in terms of the history of the village, the building should be used as a PH. Consultation with local residents on this review may help to identify the best way of keeping and using the best of the building.

The policies and recommendations approved in 2004 still apply. An extract of these is outlined in the appendix below.

## **2018 Additional Recommendations**

1. To continue with the current policies for the extension/alteration of buildings and fabric, and to be vigilant in terms of scheme detail and in enforcement.
2. To engage with the residents group to discuss the 2004 action plan, this review, and the way forward. It is possible that the group could access funds that are not available to the Council and which can be used to resolve some outstanding matters.
3. To prioritise consideration of proposals for the substantial removal of trees in the woodland areas, to re-instate and protect views, and to secure an agreed future management regime. Liaison will therefore be required with Council's Parks and Countryside Unit.
4. To monitor the situation with the Lord Raglan and following discussions with local residents produce a basic brief for the future use of the building and the site.



## Appendix 2004 Recommendations/Management Plan

The following are approved policies which still apply to the conservation area. Changes to government legislation and guidance, and in grant arrangements, have taken place since 2004 and these may affect the terminology used.

### 7.1 Reaching Agreement

Conservation area and listed building status brings both benefits and responsibilities to all involved. Owners of protected and historic buildings are the temporary guardians of our heritage. Their actions collectively have a significant bearing on the quality of life within their local environment and



community. This appraisal should mark the start of a new understanding for Mount Pleasant. In November 2003 the Council's Planning Control Committee endorsed the following approach:

1. The factory village of Mount Pleasant is a designated conservation area and contains many listed buildings. Its status reflects its importance as an area of real and special heritage value. The area residents must respect this in what they do to their property and land and the Council must take appropriate action to support and enforce those responsibilities.
2. It will be necessary for the worst of the unauthorised alterations to buildings and land to be rectified. This will need to be done over an agreed period with individual owners and in response to particular circumstances. Each situation will be dealt with on its merits within an agreed and consistent policy.
3. Any new unauthorised alterations taking place will be the subject of appropriate action by the Council. The current list of unauthorised changes will be assessed to establish the best course of action. This will involve separate discussions with each of the property owners concerned.
4. The Council will prepare a policy and guidance document to assist residents, and others, to comply with best practice when altering their properties. This will also outline the detail of planning and listed building controls and their legal implications. Within this the need for modern day requirements and equipment will be accommodated. Whilst there will be room for compromise, there will also be some changes that will not be acceptable in principle. Examples of these may be the painting of stonework, the use of all types of UPVC windows, and the prominent siting of satellite dishes.
5. The Council will continue to consider programmes for environmental works in the area. These could deal with minor works in and around the village removing eyesores and improving views and facilities. These are envisaged to be small scale works where area residents may also be involved in discussions over design or in undertaking their own improvements.
6. The extension to the conservation area outlined in the draft appraisal was accepted.

## **8.0 The Action Plan**

In July 2003 the residents of Mount Pleasant responded to parts 1 to 7 of the draft appraisal and gave their views, via a questionnaire, on the assessment of the area's character. The area residents also gave their views on possible action in terms of unauthorised alterations, and the potential for area enhancement. The responses supported the need for strong control over the alteration of buildings, both for the future and to resolve outstanding issues. The Council will therefore act within the following guidelines.

### **8.1 Guidance for Development and Change**

Mount Pleasant is an early 19th century factory village built around the site of a 18th century farm. All buildings except the Lord Raglan PH are in residential use. The area contains 52 listed buildings. There are 38 unlisted properties which are the result of the mill conversion and new building in 1988. Permitted development rights were removed from the non-listed buildings at the time of the planning permission for conversion in 1986. Therefore, for all buildings, either listed building consent or planning permission is required for most developments or alterations which will affect their character and appearance. This may also extend to walls and structures in the gardens and those away from the dwellings.

General policies guiding development in the area are contained within the Council's Unitary Development Plan (UDP) which was adopted in 1997. Specific policies that relate to the area are OL1/1 to OL1/5 covering development in the Green Belt, EN9/1 dealing with Special Landscape Areas, and various policies within EN2 Conservation Areas and Listed Buildings. These consider the possibility of new development as well as the conversion, extension and alteration of existing buildings. Changes to existing occupied buildings are dealt with in the following paragraphs. However,

Nangreaves has been listed as having potential for infill development within Green Belt policies. This refers purely to development potential within the built envelope of the village and has to be considered against the detail of all other policies within the UDP. The appraisal has identified the value of views and vistas through the village and the importance of these, and open spaces, to the area's character. It has also identified the scale of change involved in the mill conversion and the resulting dilution of the area's architectural quality. Against this background, any new development is now considered to be inappropriate as it would significantly alter views and harm the appearance and character of the area.

### **The Alteration of Buildings**

The character of the area is defined in some detail in the first part of this document. Generally, the area character is seen as being simple and functional and, due to its history and growth during the 19th century, it has a common style and treatment. The earlier farm buildings have some different features but are also of plain treatment. National conservation guidance confirms the need for policies to accommodate and to guide change. It also stresses the importance of the good management and repair of buildings and the need to minimise the alteration of historic fabric. Repair of good existing features is always preferred to their replacement, and modern features such as gas flues, burglar alarms etc. would normally be resisted. Due to its recent history the standard of preservation in the village has fallen well below these national expectations. The guidance in this note is aimed at reversing the decline of area character and not necessarily aiming for the higher standards applied elsewhere.

Early buildings, structures, walls, boundaries and paving should be retained in situ and repaired. The subtle effects of time and weather, such as the darkening of stone should not be removed. When change is essential it should be considered very carefully and issues of detail will be absolutely crucial to its success. The guidance given is intentionally direct and straight forward and is aimed at being as clear as possible. Complying with the guidance in this document does not remove the need for either listed building consent or planning permission. The guidance is put forward under three headings: Roofs - guidance on materials, windows, chimneys, ridges and edges, satellite dishes, flues and gutters/rainwater goods. Elevations - guidance on walls, pointing/painting, windows and doors, alarms, and flues. Other Features - guidance on outbuildings, gardens, garages, walls and fences.

Within the village there is little practical opportunity to extend buildings. Where such proposals are being considered the applicant is advised to discuss these with the Council's conservation and development control officers at an early stage. Although all proposals will be dealt with on their merits, there will be a presumption that any acceptable new building will follow the local traditional construction methods and details. Consequently, the following detailed advice will also apply to any new building.

### **Roofs**

Stone flag and slate roofs should be retained and repaired. Every effort should be made to keep the remaining examples of stone roofs. The sealing over of existing roofs is not appropriate. Many terraces have traditional ridge tiles and stone copings/cement fillets to the verges. These should be retained, and verges should not be replaced with barge boards, either upvc or timber. Also, be aware of imported stone and slate. This may be offered at a lower price but may not be a convincing substitute for the local natural material.

Chimney stacks should be retained at their original height with their original banding, detailing and chimney pots. Standard TV aerials and mini dishes can be fixed to stacks in agreed and unobtrusive locations, no more than one aerial or dish to each property. Alternative locations for dishes are at ground level, again in unobtrusive locations, but not on the external walls of houses. Large dishes and aerials should not be used. Dormers built into roofs are inappropriate. Traditional flat windows within

the roof, on the least visible slope, may be acceptable if they are the flat conservation roof light. Some current standard roof lights project above the roof level. These are more intrusive and are inappropriate.

New stainless steel (or similar) flues should be within existing chimney stacks and should not be visible. Flues should not be brought through the roof in other locations. The existing stone, timber and cast iron gutters and downspouts should be retained and repaired whenever possible. Black square section upvc may be acceptable in particularly inaccessible and hidden locations.

## **Elevations**

Generally, the main openings in walls should not be altered in size or shape or sills and lintels removed or adjusted. There are a number of early stone mullions in windows and these must not be removed or altered unless repair is essential. There are now only a few early window frames remaining in the village. If at all possible, these should be retained and restored/repared and, if necessary, supported with secondary glazing. New window frames should be set back to their original position within openings. Window frames should be timber. Their design should be simple. Leaded lights and stained glass are not part of the area's character and should be avoided. Frames should be painted or stained.

Secondary glazing is preferred but double glazing will be acceptable for certain types of frames. However, double glazing can present problems if used in conjunction with glazing bars as the bars tend to be too robust to be historically convincing. It is absolutely essential that the detail of replica or mock sash windows is correct. Poor and weak copies have a negative effect on the area's character. Where listed building consent or planning permission is required the following timber window types are acceptable. Full vertical double sliding sash frames, either weighted or spring loaded and with or without glazing bars. Dummy/mock vertical sliding sash frames with the option of fixed upper or lower sashes. Within the mill conversion properties, simple quartered frames with either half or a quarter side or top hung for opening. There may be situations, such as with stone mullioned windows and unusual or small openings, where a simple timber frame or a simple top or side hung opening frame may be appropriate. To give the opportunity for some variety within this range, a sole option for each design will not be enforced. However, fully detailed designs will need to be prepared to ensure that appropriate schemes are implemented.

Please note that listed building consent and planning permission are not required for like-for-like replacements of windows and doors etc. This applies if the replacement is a full replica and the original being copied is not unauthorised. Upvc windows and doors are inappropriate. Due to their detail, construction and finish they are poor copies of traditional windows/doors and will not be approved. This applies equally to the white or pseudo timber external finishes. Hardwood and softwood windows can have a long life span if the timber is carefully chosen and treated and the details correctly designed. Timber windows can be easily and economically repaired. Many upvc windows do not have extensive life spans. Upvc windows installed 20-25 years ago are now having to be replaced. If a problem develops the whole window will need to be replaced.

Fully boarded or flat panelled external doors are acceptable. A small amount of glazing is possible within these designs. The original external doors in the converted mill properties are timber framed and glazed. If replacement is necessary these should be in timber to the same design. External walls should not be cleaned or painted. This removes part of the character of the area. This applies to lintels and sills as well as main walls. The walls of most buildings in the area are constructed with watershot coursing. This means that the bed of the courses is inclined to allow water to drain outwards after rainfall, and with the positioning of the stones assisting run off from the wall's face. The pointing between the courses is therefore very important, it should assist this drainage and not hinder it. Dense and heavy pointing such as strap pointing and strong mix cement pointing will create

problems as they can trap water leading to frost and other forms of stone damage. A weak to weak-medium mortar mix is recommended with pointing finished neatly and flush across the cavity.

In most cases this means that the pointing is struck at an angle which helps the run-off of water. Old pointing should be cleaned out by hand and not with a grinding disk. A disk will damage the stone edges and create lasting problems. Alarms and flues can be used on external walls. Flues should be kept to the secondary elevations, be the smallest possible, be finished in stone colour and hidden as far as possible by locating in less prominent locations - ideally beneath or below gutters etc. Positions should also be checked to ensure that they function correctly. Alarms should also be stone coloured and located in the shadow of features such as gutters. Alarms do not need to be in strong colours to be effective. They will be readily seen if they are being looked for, and many modern alarms now have distinctive light pulses.

### **Other Features**

Early stone outbuildings, walls and paving are part of the area's history and character and should be retained and repaired. The draft appraisal outlined the different types of boundaries in the area. Existing stone walls and paving should also be seen as a guide for new work. New boundaries should be in traditional materials, stone and timber, and not concrete with off-the-peg panels such as waney lap. Around the village there are enclosed sites and gardens and areas for livestock. These sites contribute to area character and when changes are made stone and timber should be used. Garages can be viewed as either temporary or permanent. Temporary garages should be constructed in stained timber. Permanent structures should be in stone or primarily stone with less prominent elements in rendered finish. Sectional concrete and metal structures are not in keeping with the area.

Please check with the Council's Conservation Officer and development control staff about the need for prior permission for any building work or alteration. If unauthorised works are carried out it is not a defence to claim ignorance of planning and conservation law.

### **8.2 Area Enhancement**

The appraisal process and the response to the consultation within the village in July 2003 suggested a range of works that would enhance the area's character and address local concerns. The following enhancement works are therefore put forward. These should be the subject of detailed survey work, the preparation of proposals, and the submission of bids for heritage funding within and outside the Council. The proposals are:

The repair and enhancement of the sett roadway within the village and its possible extension to cover small areas of unmade roadway where appropriate.

The provision of additional car parking areas for rent for both the upper and lower areas of the village.

The upgrading of street lighting within the area following an appropriate heritage design. Investigation of a communal aerial for the village.

Works for woodland management to ensure good practice and to secure and protect views into and out of the village.

The provision of a new village sign, to be consistent with a conservation area pattern yet to be designed.

MN May 2018 and updated December 2018

## **Review of Poppythorn Conservation Area, Prestwich. December 2018**

From 2004 to 2011 Bury Council produced conservation area appraisals and management plans for 10 of its 12 conservation areas with the aim of better preserving and enhancing their character. The plans were the subject of consultation and Council approval and full details now appear on the Council's website.

Historic England, the primary heritage advisory body in England, and other heritage bodies, recommend that appraisals and plans are regularly reviewed and updated. In the intervening 14 years since the first plans were published there have also been changes to national conservation guidance the most recent being the National Planning Policy Framework 2018. Bury Council has decided, in this context, to undertake a quick review all of its conservation area appraisals/action plans. In the case of Poppythorn, and based on the 2018 assessment, a mini-review only is required. The full assessment of area significance and detailed discussion of area character in the 2006 document still applies.

### **Poppythorn**

Poppythorn Conservation Area was designated in 2004. A Draft Conservation Area Appraisal document was presented to Poppythorn residents in April 2005 to seek their views on the issues to be considered when developing a strategy for the area. These were taken into account when Planning Control Committee approved a range of actions in June 2005. The management plan was first published in booklet form in 2006.

Its website link is <https://www.bury.gov.uk/CHttpHandler.ashx?id=2771&p=0>

Poppythorn Conservation Area is located to the north-west of Prestwich, an historic village which grew up around the medieval church of St. Mary. The topography of the Conservation Area is generally flat, sloping gently up towards the north and east. The Conservation Area is compact, comprising Poppythorn Lane, Guest Road, Langley Road, and part of Nursery Road and Glebelands Road. Bury Old Road lies to the north, and the Metrolink line runs close to the southern boundary. The area around Prestwich was principally open country until well into the 19th century. The area contained small settlements, of which Poppythorn Fold was one, as well as a number of small country estates with substantial villas built by wealthy Manchester merchants and industrialists anxious to escape the dirt and discomfort of the city. With the coming of the railway in 1879, these early residents were joined by better off middle class families who appreciated the rural suburbia which was being created around Poppythorn Lane and were able to afford the grander houses being built.

Poppythorn Conservation Area is now completely surrounded by housing, ranging from the inter-war developments along Nursery Road and the Langley Hall estate to a limited number of modern low-rise apartment blocks. Despite this, the roads forming the Conservation Area have retained a distinctive character reflecting the completeness of the original layout and the generally unchanged form and appearance of the individual houses, built as they were over a relatively short period from approximately 1870 to the beginning of the First World War. Much of the Poppythorn development was undertaken by a handful of builders who chose to live in one of their houses on the estate, renting out further properties. They thus had a personal interest in the form and appearance of the roads and houses. Nothing remains of the original small community of Poppythorn Fold except Poppythorn Cottage, and this has been altered so that in appearance it blends with its late 19th century neighbours.

In 2006 the area was recognised as being well preserved with high quality street frontages, many distinctive properties, special building details, and original walls and gates. The main concern was to protect the buildings from removal and redevelopment and to ensure that building details were protected, repaired and restored. At that time the Council operated a grant aid scheme for building restoration and a number of small grants were used to restore properties. The plan did refer to the possibility of the Council implementing increased powers of control if the character of the area declined due to the unsympathetic alteration of dwellings. The plan also indicated some possible enhancement proposals to improve the street scene and areas of open land.

The area has been re-surveyed (January 2018) and compared with images of 2008 and 2012. The conclusion is that the area is generally well preserved but that there has been some decline in area character due to alterations to dwellings since 2005/06. For example the west side of Guest Road has been adversely affected by the use of poorly detailed UPVC window frames whilst the east side is generally well preserved. There are many original features that remain, and now appears to be the time to give consideration to increasing controls over external changes to dwellings to ensure that the special character of the area does not decline further (please see the policy relating to Art 4 Directions in the 2006 appended). There is one other concern and that is Poppythorn Cottage which currently appears to be empty and in poor condition. Its retention/restoration being investigated by the owner with professional guidance. No other actions are currently required.





The appendix below contains the policies approved as part of the 2006 review and management plan. These still apply to the conservation area. Changes to government legislation and guidance, and in grant arrangements, have taken place since 2006 and these may affect the terminology used and the funding available.

## **Appendix. Poppythorn Management Plan Policies 2006**

### **MANAGEMENT STRATEGY**

#### **5.1 Introduction**

The character of Poppythorn Conservation Area has been described in the earlier sections of this appraisal. National conservation guidelines place a responsibility on the local authority to formulate and publish proposals for the preservation and enhancement of conservation areas and, in exercising their planning powers, to take into account the desirability of preserving or enhancing their character or appearance.

This conservation area appraisal and the management proposals were prepared for circulation to area residents as part of a consultation process during 2005. There is broad support from the local community for the policies and actions which form the management strategy.

The Poppythorn Conservation Area is a remarkably well preserved enclave which has suffered relatively little large-scale change since the First World War. The changes which have taken place, however, could easily be compounded, and the result would be serious erosion of the character of the area. When alterations which seem minor in themselves become widespread, they can have a far-reaching effect on the appearance of the area. While most residents have taken pride in the original features, certain alterations have already had a damaging effect. Drawing attention to the special features of the place and setting this in a historic framework is seen as a way of highlighting what is best about the area. This should help inform individual owners so they can avoid works which might erode the area's special qualities.

Although not yet widespread, erosion of detail has taken place with the introduction of storm porches, dormers and satellite dishes in an unsympathetic way. Replacement of original doors and windows, changes to roofing materials and the introduction of unsympathetic fencing and replacement garden walls are all alterations which can often be avoided or carried out in a more sensitive manner.

Other alterations, such as replacement of street lamps and original pavement materials, introduction of signage and so-on, relate to works of maintenance and road safety measures by the Council. Such works are essential for the safety and comfort of residents but there may be scope for replacing some elements in more sympathetic materials as routine repairs and replacements are undertaken.

As well as guarding against damaging alteration, the strategy aims to consider how the area can be enhanced and to ensure that modern needs can be catered for in a sensitive way.

The Poppythorn area has successfully accommodated many changes, even quite radical ones, such as the introduction of cars, electricity and all the modern conveniences taken for granted today. Conservation policies recognise that change takes place and that individuals wish to improve their properties and environment. What they seek to do is to guide the way changes are made so the traditional character of the area is retained and enhanced.

#### **5.2 Policies for the Control of Development**

The following policies are directed at ensuring that change is in sympathy with the area's character. These should be read in conjunction with the Council's booklet Conservation Areas of Bury, which gives general guidance on conservation areas and explains when planning permission is required for

the alteration and extension of dwellings. They should be taken into account when consideration is being given to proposed alterations and when guidance is required.

### **Demolition of Buildings**

The Town and Country Planning (Listed Buildings and Buildings in Conservation Areas) Regulations 1997 requires the approval of Conservation Area Consent for the demolition of most buildings within a conservation area. Very little new building has been undertaken in the Poppythorn Conservation Area, but a low-rise apartment block has been built at the corner of Poppythorn Lane and Glebelands Road. It respects the general area character in terms of size, massing and materials, but nevertheless does not enhance the area's character.

**Policy:** The demolition of existing houses and their replacement with new houses or apartments should be resisted.

### **Article 4 Directions**

Local planning authorities are empowered to remove generally permitted development rights so that proposed development which would not normally require planning permission, such as small extensions, porches, and the creation of hardstandings, is brought under control. Article 4 directions can also be used to prevent the painting of unpainted brickwork, and the removal of garden walls and hedges. During consultation the use of this power did not receive the full support of the local community.

**Policy:** That the Council delay consideration of the implementation of an Article 4 direction (removing permitted development rights set out in Classes A, B, E, F and G of Part 1 of Schedule 2 of the Town and Country Planning (General Development Order) 1995) until the impact of any further changes on the ground are reviewed in due course. That a design guide be prepared providing advice and guidance for residents on the subject of extensions and alterations and for use in connection with voluntary arrangements for compliance with good practice.

### **Doors, Windows and Joinery**

Although not yet widespread, there are examples of inappropriate window and door replacements.

**Policy:** Renovation is preferable to replacement. Window sills which require replacement should be cut out and replaced with new matching timber pieces joined in a traditional way. Where windows and doors have deteriorated beyond repair, consideration should be given to having new units made to the original design, rather than to replace them with modern commercially available alternatives. Replacement windows should be timber, which should be painted. Joinery should be painted rather than stripped or stained.

### **Loft Conversions**

There are isolated cases of loft conversions which are not in sympathy with the area's character.

**Policy:** New dormer windows should follow traditional patterns, proportions, materials and details. Generally, rear elevations may be the most suitable for roof alterations such as dormer windows. Conservation rooflights are an alternative to building a dormer structure.

### **Satellite Dishes and Burglar Alarms**

Satellite dishes are common, in some instances in quite prominent positions; similarly burglar alarm boxes can be detrimental in their appearance.

**Policy:** Where possible new aerials, satellite dishes and alarms should be mounted below eaves level and at the rear or side of the property. Main elevations should remain uncluttered. See through mini satellite dishes cause the least harm.

### **Side and Rear Extensions**

Minor additions, such as side and rear extensions, which qualify as permitted development, could have an adverse impact on the character of buildings if carried out without properly considering size, form and details.

**Policy:** Side and rear extensions, which are permitted development, should be designed to compliment the design and detail of the house; single storey is preferable with a pitched roof.

### **Roofs**

Poppythorn Conservation Area is characterised by the varied pitched roof forms. The original roofs are covered with natural slate, many with decorative terracotta ridge pieces.

**Policy:** If re-roofing is required, salvageable slates should be reused where possible, the balance being made up of reclaimed material. The use of concrete tiles or synthetic 'slates' can be inappropriate. Where possible semi-detached houses and terraces should be re-roofed as a whole to preserve a unified appearance.

### **Chimney Stacks**

Brick chimney stacks with terracotta pots make a strong contribution to the skyline and add to the character of the area.

**Policy:** Chimney stacks and pots should be retained although the flues may not be in use.

### **Rainwater Goods**

Rainwater gutters and down pipes were originally cast-iron, with lead flashings.

**Policy:** Where replacement of rainwater and soil pipes is necessary, off the shelf upvc is seldom appropriate. There are convincing copies of cast iron and timber sections in other materials that are lighter and less expensive. The installation of additional and new pipe work on the front elevation should be avoided.

### **Brickwork**

The brickwork of the houses is an attractive feature and is a key component of the area's appeal.

**Policy:** Brickwork should not be painted and, if it is to be cleaned, a non-abrasive method should be used. Careless re-pointing of brickwork can seriously affect the appearance of the property, and the work should only be entrusted to an experienced contractor using a weak mortar mix, and traditional pointing method.

### **Boundary Walls and Gates**

The boundary walls and gates posts provide some of the most interesting architectural features in the area and make the scene along a number of streets very special.

**Policy:** The existing boundary walls and gateposts should be retained and protected from removal and relocation. In some streets, proposals to create car hardstandings by removing walls and gates should be resisted. In others, designs should take great care not to lose this part of the area's heritage.

## **Trees**

Trees are an important element of the areas character, and replanting should be encouraged when mature trees die. It is important, however, that replacement trees should be species which conform to the existing pattern described in page 24 of this appraisal.

**Policy:** When trees are removed or die they should be replaced with new trees of appropriate species and size.

### **5.3 Policies for Enhancement**

On the 28 June 2005 the Council's Planning Control Committee approved the following broad approach to area enhancement : -

That enhancement and management proposals be prepared for the conservation area and that these should take on board the recommendations of the appraisal and the issues raised through the consultation. In particular they should include proposals for street lighting, trees, highway and traffic issues, the garage court on Poppythorn Lane, other elements of the streetscene such as boundary walls, and the Langley Road/Glebelands Road triangle. The proposals should also be conscious of future maintenance and management costs. They should be used in the bidding for funds to support the works and, in the interim, all parts of the Council should ensure that the character of the conservation area is fully respected when alterations to the public realm are made. The specific matter of rat-running will also be referred to the Borough Engineer for consideration within the Local Safety Scheme programme.

The Council does not normally make general grants available for repair and restoration work in Conservation Areas. The Council does operate a Buildings at Risk grant scheme aimed at saving and securing threatened historic buildings (largely listed buildings), with an annual budget of £15,000. It is proposed to investigate good practice elsewhere in Conservation Areas together with the effectiveness and value page 35 of grant aid to private property. The results of the investigations will advise on the review of Council repair and restoration grants in conservation areas.

The Council has delayed consideration of stricter planning controls until the position on the ground is reviewed following a reasonable period after the 2004 designation of the conservation area. However, design guidance is to be prepared to assist area residents in altering or extending their homes. This will be prepared as general advice and will also cover the St Marys, Prestwich, and All Saints Conservation Areas

MN May 2018 and updated December 2018

## **Review of Pot Green Conservation Area. December 2018**

From 2004 to 2011 Bury Council produced conservation area appraisals and management plans for 10 of its 12 conservation areas with the aim of better preserving and enhancing their character. The plans were the subject of consultation and Council approval and full details now appear on the Council's website.

Historic England, the primary heritage advisory body in England, and other heritage bodies, recommend that appraisals and plans are regularly reviewed and updated. In the intervening 14 years since the first plans were published there have also been changes to national conservation guidance the most recent being the National Planning Policy Framework 2018. Bury Council has decided, in this context, to undertake a quick review all of its conservation area appraisals/action plans. In the case of Pot Green, and based on the 2018 assessment, although there was no original appraisal a mini-review only is required. .

### **PotGreen**

Pot Green Conservation Area was designated in 2004 though there is currently no formal management plan for the area.

Pot Green Conservation Area focuses on a small, tightly knit group of cottages set along an old pre-turnpike north south route which ran from Bury, through Summerseat and north along Holcombe Old Road. The buildings evolved through the 17th, 18th and 19th centuries and remain set in a woodland landscape. The hamlet, which is located at the southern base of Holcombe Hill, at Holcombe Brook, represents an early stage in the industrial history of the area being based on the cottage industries of spinning and weaving. The original buildings were probably the farm at Higher Foulcotes/Fowlcotes and number 29 Pot Green/1 Summerseat Lane. Archaeological remains and 19<sup>th</sup> century maps confirm the siting of two small water-powered mills, Bank Mill and New York Mill in the wooded area between Pot Green and Woodhey Road. The Conservation Area is now tightly enclosed by modern development to the south and the woodland to the north but has survived as a distinct and relatively unaltered group of vernacular, largely stone buildings of architectural and historic interest.

The area has been re-surveyed (January 2018) and compared to images from 2008. In 2011/12 planning permission was granted for the conversion of a number of buildings associated with the farm and 29 Pot Green. Some of this work has been successfully undertaken though some vacant stone buildings within the same complex remain. One of these, at the extreme south east of the conservation area, is showing signs of significant structural failure, at its south east corner, and this matter requires urgent attention if the building is to be saved from collapse. Listed building and planning applications have recently been submitted for conversion works to the vacant buildings. There have been some change to properties within the conservation area which has harmed its character. Upvc windows and doors have been introduced into a number of properties and many of these have been of poor design and appearance. This has had a significant impact on the character of the small cottages. Not all changes have had such a negative impact but to ensure that the situation does not deteriorate further, consideration should be given to the Council introducing additional controls via an Article 4 Direction. The area is small enough for this to be achieved using the minimum of resources.



MN May 2018 and updated December 2018



## **Review on St Mary's, Prestwich, Conservation Area Appraisal and Action Plan. December 2018**

### **Introduction/Background**

St Mary's Park Conservation Area was designated in 1993. Between 2001 and 2005 the commercial part of the area benefited from a Council and English Heritage funded Heritage Economic Regeneration Scheme, and preparation for this involved an assessment of the character of this part of the area and proposals for enhancement. In 2006 consultants were engaged to produce an appraisal and to put forward recommendations for a management plan for St Mary's Park and the local community was consulted on the consultant's report from September to December 2006. The final management plan was approved by the Council in 2008 and 2009, and the plan was published in booklet format. The conservation area boundary was extended as part of the approved plan.

The original appraisal/action plan was published in February 2007. It outlined the history of the area, the qualities of its architecture and environment, and put forward proposals for accommodating change and ensuring that the character of the area was preserved and enhanced.

The full appraisal and action plan be found on the Council's website at -

<https://www.bury.gov.uk/index.aspx?articleid=11494>

In 2009 additional controls were put in place to control minor alterations to dwellings. Changes that would not normally required planning permission were brought under control. This was a recommendation of the 2009 plan and was introduced after a consultation period in the local area. In 2009 a photographic survey of the properties in the areas was undertaken. Unfortunately, this information is not now available for comparison with the 2018 position. However, the conservation area has been resurveyed (February 2018), and checked via Google Earth records (2008 to 2017) and through all planning applications made since 2009.

Heritage England, the primary heritage advisory body in England, and other heritage bodies, recommend that appraisals and plans are regularly reviewed and updated. In the intervening 9 years since this plan was published there have also been changes to national conservation guidance the most recent being the National Planning Policy Framework 2018. Bury Council has decided, in this context, to undertake a quick review all of its conservation area appraisals/action plans. In the years since the action plan there have been concerns expressed over the deterioration of the character of the conservation area and the area is currently seen to be at risk of further decline. Although increased controls over alterations to dwellings were approved in 2009, there is some evidence that some home owners have not applied for permission to make alterations to their property. The review should assess the facts and impact of the additional controls.

It is not necessary within the review to revisit the history and origins of the area. It may be necessary to review what is significant about the area's heritage, as this may help to guide future decisions on proposed changes. It will be important to note what has happened since 2009 and how successful the action plan has been. The review should note threats to the area's character and opportunities for its enhancement, and make recommendations about the way forward. The review should also consider if the current area boundary requires adjustment.

The main areas of the review are : -

### **Area Significance 2018**

#### **Changes from 2007 to 2018 – Issues**

#### **Accommodating Change/Threats and Opportunities**

#### **Area Boundary**

## Recommendations

The words shown in coloured italics below are extracts from the 2009 action plan report. There are additional comments reflecting the current situation. The policies in the 2009 plan are appended to this report.

## Area Significance 2018

*The conservation area lies on the southern edge of Prestwich village, adjacent to the A56 and at a mid-point between Manchester and Bury. The area is primarily to the west of the highway and located around and to the south of Church Lane, the medieval core of the settlement. It is a large conservation area which also covers St Mary's Park and Prestwich Clough, containing both formal and informal open space and woodland. It also has a strong element of 19th and early 20th century residential development around St Ann's Road and Prestwich Park Road South, and a separate quarter around Rectory Lane to the east. More recent suburban development is all around the area, and this together with the growth of landscape cover, partially hides the undulating topography which was central to establishing the early importance of the settlement.*

*The area has a diverse use and character, and this is illustrated through the description of the character areas. The overall impression is of an area set in a treed landscape where the landscaping is a dominant feature. Within this, building groups are fairly well hidden by mature street trees, and this flows into the large garden areas and the landscape of the park areas and the Clough. The mediaeval church sits at the highest point in the area, though its dominance has been reduced over time due to general tree growth and the enclosing urban development. The natural topography of the area is also hidden by area development, though the A56, along the line of the Roman road from Manchester to Ribchester, is both a strong boundary and uniting feature. The Church is built in local sandstone, and most other buildings are in brick. The distinct character areas are: The Historic Core/Church Lane; The Commercial Gateway and Rectory Lane; St Mary's Park and Prestwich Clough; Prestwich Park Road South/St Ann's Road. Greater detail on some of the buildings referred to in the character areas is given in the appendices. The conservation area is enclosed by 20th century residential and commercial development to the north and south, though with open space links to the lower land in the Irwell Valley to the west.*

Each character area is explored in detail in the report. The following extracts summarise area character, and any changes and issues that have arisen since the 2009 plan.

## Changes from 2009 to 2018 – Issues

### *The Historic Core/Church Lane*

*The historic core is the oldest part of the conservation area and Prestwich village. It is dominated by St Mary's Church located on a promontory at the west end of Church Lane. It overlooks the churchyard and graveyard areas and below these stand St Mary's Park and Prestwich Clough. The sandstone church is a landmark and marker for Church Lane and closes the views from the east. Immediately around the Church is an extensive churchyard containing 17th, 18th and 19th century gravestones, tombs and monuments. Beyond this there is other church owned land. The church site contains a hearse house, boundary walls and gate piers, sundial and mounting block, all of which add to the special interest at the west end of Church Lane.*

*Church Lane illustrates the development of the village since the mediaeval period. The church was founded in 1231, though it is thought that there was an earlier timber church, and its fabric has 14th*

*century origins and exhibits extensions and alterations from key periods since that time. By the church entrance gates stands the Church Inn, a 17th century coaching inn associated with those who travelled to the parish church from within the extensive post-medieval parish. The inn is 3 storeys built in hand made brick with a rendered frontage and rebuilt porticoed entrance. Abutting the inn is number 38, also built in hand made brick in the 18th century. In front of the inn is a slightly widened highway with stone flags and setts and which once formed part of the core and meeting place of the village. The enclosure of the area is completed by the early 20th century brick built rectory on the south side, which stands behind brick walls and railings and within large mature grounds, part of which once formed the bowling green to the Church Inn. A relocated 17th century sundial is also located within the grounds.*

*Church Lane is reasonably well preserved on its north side but less so on the south. The lane was well established by the 18th/19th century, and numbers 20 to 36 (north side) and 1 to 11 are from that period. All are brick and slate dwellings built in the late Georgian style, with 20 to 30 (George's Terrace) raised above road level behind a brick retaining wall and hedge.*

*Once the hub of the village the lane has now become a quiet residential backwater and stands in contrast to Bury New Road at its eastern end. Its contribution to the character of the conservation area can be much enhanced through a careful restoration programme*

Comment: The church, some of its associated buildings and tombs, and the Church Inn were all listed Grade II at the time that the 2009 plan was published. In 2012 the former rectory was also listed grade II. As is expected, these buildings remain well preserved and unchanged. Elsewhere along Church Lane there have been some changes. Around the time of the 2009 plan the timber sliding sash windows in International House were removed and replaced with Brown Upvc fixed frames. The formation of the Solita restaurant, part of which runs along Church Lane, was undertaken in 2015. Some parts of the works have not been undertaken in accordance with the approved plans and have involved Upvc window frames and doors, the latter being particularly out of character. Other changes were made to upper floor windows between 2012 and 2014. Some stick-on glazing bars to windows have also now fallen off. There may also have been some changes to window frames along the frontage of St George's Terrace without gaining the necessary planning permission. Again these have been replaced with Upvc frames, some of which have poorly patterned and intrusive designs. Overall, these changes have diminished the character of this part of the conservation area.

A management plan for the church yard was prepared prior to 2009 and has been implemented by a friend's group over a number of phases. It is not part of this review.

#### *The Commercial Gateway and Rectory Lane*

*This area is located at the meeting of Church Lane and Bury New Road, and covers the commercial group of properties located at the southern end of the village centre. It provides the introduction to the village centre when travelling from the south. It is also a mixed area as it includes the Red Lion PH standing in a stone sett paved forecourt on the east side of Bury New Road, and also the group of residential buildings around Beech Tree Bank along Rectory Lane, linked to Bury New Road by a narrow path up Clarks Hill. The Bury New Road commercial properties are primarily 19th and early 20th century, to a mix of building forms, heights and design. Brick and slate are the primary materials with some black and white timbering. At ground level there is a mix of shop and commercial use, with some frontages that do not follow the original area character and suffer from the use of solid roller shutters. Beech Tree Bank and numbers 63 to 67 Rectory Lane face the top of Clarks Hill. 63 to 67 form the smaller group and Beech Tree Bank is a longish terrace, three storeys high and elevated above road level behind a stone retaining wall. Walls are in red and yellow brick and roofs in slate with both lateral and roof dormers.*

Comment: The largest change in the area is the building of the Aldi store on the A56 close to the boundary of the conservation area. This replaced a car showroom which was not an attractive neighbour. The resulting impact on the character of the conservation area is neutral. Shop/office ground floor frontages in this area have improved with increased occupancy and some minor changes that have benefitted area character. However, external roller shutters continue to be intrusive and damage area character. No permissions have been granted for them but there are 3 in each of the

blocks 387 to 399, and 375 to 385 Bury New Road. Some may have existed at the time of the 2009 plan. There appear to have been no changes to the Rectory Lane area since 2009. Overall, these changes have diminished the character of this part of the conservation area.

### *St Mary's Park and Prestwich Clough*

*These two areas combine to provide a large green swathe of land running across the middle and to the west of the conservation area. The area runs into the green spaces around the church and properties on Church Lane to the north and those on St Ann's Road to the south. At its eastern end its boundary is Bury New Road, and here the space is a formal, though altered, early 20th century park. The park is hidden from the main road by the density of the boundary planting and whilst this provides separation from the busy highway it also stops views into the park and adds to its isolation from the active street. Away from Bury New Road the land becomes more undulating and informal, running into the deep valley of the Clough to the west. The area is crossed by paths, through both open and wooded terrain, and there are steps and bridges within the steep side of the Clough. Part of the Clough was, in Edwardian times, laid out as a formal walk with features and facilities along its route, and with the line of the stream controlled through the use of stone walls with large copings. Most of the original elements have been lost. The Clough is ancient woodland and remnants of this remain. Its character has changed over time through grazing, management, controlled planting, and through the 18th and 19th century industrial development at its western end. For its length within the conservation area, the Clough has a clear identity, a clear boundary edge and an important physical and landscape structure, with significant opportunities for enhancement. The open spaces in the area are generally in contrast to the surrounding dense development, and are an important resource for the locality. The park and the Clough are managed but there is a need to address the form and function of the area and its use and landscape structure.*

Comment: There appear to have been no changes in this area since 2009. The flower park continues to be well maintained. The Clough is largely unmanaged and some features in the area are in poor condition, including the information boards. This is in contrast to the boards in Philips Park. The park/clough appears to be well used and links into Drinkwater Park and other wooded and open spaces in the river valley. The latter is now controlled by the Forestry Commission and improved management is expected in future years.

### *Prestwich Park Road South / St Ann's Road*

*This area is a 19th century residential suburb, originally laid out as a private estate from c1850. It also contains dwellings from the early 20th century and examples of late 20th century residential redevelopment. The main quality of this area is in the character created by large period buildings in generous grounds. The style of individual buildings varies from the remnants of the Georgian tradition through Victorian and Edwardian styles to mid war dwellings. All these combine, together with a mature street and garden landscape, to produce an area of significant character. The quality of the area has been eroded by a mix of modern development during the last half of the 20th century, when original dwellings were removed to allow the denser development of plots. In the main, poor quality architecture came hand in hand with redevelopment. New development has also been built up to the edge of the older areas. To the south of this area is an area of woodland at Eagles Nest Wood and around Shrewsbury House. This area is important to protecting the edge and setting of the conservation area. Part of this character is associated with the nature and condition of Shrewsbury Road.*

Comment: Since 2009 Shrewsbury House has been extended and restored and part of its site has been developed with detached houses. The work to Shrewsbury House should be welcomed and the development overall is positive for the area. Along St Ann's Road infill development has been approved, the approach striving to achieve well designed houses in grounds and maintaining the street scene. Elsewhere along St Ann's Road some alterations have been made to windows in properties. The most significant alteration is at Brookfield Residential Home where poorly detailed Upvc frames have been inserted without planning permission. These works were undertaken over a period between 2014 and 2016 and then after 2016. There has also been change to window frames



along Prestwich Park Road South, with some loss of traditional sliding sash and leaded timber frames, and a move towards Upvc frames. Here some changes have received planning permission, in two instances retrospectively (one of which was the result of a recent planning appeal to the Planning Inspectorate). In other applications the approved details have not been followed or the detail on the application is unsatisfactory and subsequently difficult to compare with the work carried out on site. One scheme recently on site involved the faithful replacement of timber sliding sash frames. Some porches added have been refused permission but are still in situ. For many dwellings it is not clear what alterations have been made to windows as the photographic record of what existed in 2009 has been lost.

At the east end of St Ann's Road it meets Bury New Road and here there are retail units/cafes. The refurbishment and repair of properties identified as in poor condition in 2009 is a positive thing but all four of the units have external roller shutters. None have permission though some have been in existence, in different forms, for a number of years.

The above changes have diminished the character of the conservation area.

### *Features and Materials*

*Brick and slate are the dominant building materials. Red brick is mainly used and this is seen in its darker, weathered, state or is given a more orange tint by cleaning. Decoration on buildings is also provided by different coloured brick used mainly in banding, but also in small scale decoration around features. A small amount of terra cotta decoration is also used. Header, Stretcher and Flemish bond brickwork is found in the area. Recessed brick panels are a common feature on elevations. Good examples of flat and round brick window arches exist of both Georgian and Victorian styles, and buildings have a range of examples of entrances porches, and overhanging and decorated eaves, barge boards and verges. Stone is found in heads and sills and in string courses and some houses have stone ground floor bays. Render is used in the area, though this is primarily found as a modern material. Some original brick elevations have been faced in render. Some building groups have their high gables and bays faced in black and white timber, with the use of rendered and decorated panels. There is some evidence of damage to brickwork due to harsh cleaning methods. There is a mix of window types, frames and doors in the area, many modern with little relationship to the area's original character. There are some convincing replacement sliding sash frames (Beech Tree Bank, Hornby Lodge) and a range of non traditional casements and standard side and top hung styles in a range of materials. There are interesting large scale diamond patterned timber frames on properties on St Ann's Road and these appear to be in both early and restored forms. The street scene is a key feature in the area's character, and the initial impression is given by boundary walls fronting the highway and the combination of walls, mature street trees and the garden planting. The streets provide a range of brick and stone boundary walls of mixed styles and construction. There are header and stretcher bond brick walls with stone copings of varied designs, and with stone gate piers and stone coursed and loose random walls. Walls are not high and the gate piers stand above them. Even on some sites that have been redeveloped the walls and gate piers remain. On Church Lane some boundaries are in stone coping blocks, which at one time would have been the base for cast iron railings. Very recent boundaries have introduced much higher gates and railings, and these are intrusive and, following some checks, do not appear to have had the required planning permission.*

Comment: The above description is still the case and with the exception of changes to window frames and possible increase in the number of roller shutters there has been little change.

Overall, although there have been some positive changes, the significance of the conservation area has been eroded by an accumulation of changes to window frames and the fixing of roller shutters to commercial property. Some of these may have taken place both before and after the 2009 plan.

## Accommodating Change/Threats and Opportunities

In 2009 the following threats to the conservation areas significance was identified.

### *Negative and Damaging Features*

*There are a number of buildings, structures and details that actually act against the special qualities of the area. These can be buildings of poor design, or in poor condition, or features that are eyesores or that damage the environment.*

*1) The scout hut and the pensioners' hut (Church Lane Community Centre) on Church Lane are either prefabricated or temporary buildings that are out of place in the area. They are single storey, standing in their own grounds and whilst they form a useful resource they compare poorly to the traditional buildings. Both have been the subject of a programme of improvements during 2007/08/09.*

*(2) The present Conservative Club has lost much of its original character through modernisation. Its extension is not in-keeping with the original building or the area due to its design and materials, and the expanse of car park is out of scale with its surroundings.*

*(3) There are small pockets of out of character building development. These are generally the result of 1960s and 1970s redevelopment of sites prior to the designation of the conservation area.*

*(4) The electricity sub-station on St Ann's Road is the subject of vandalism and graffiti and is a significant eyesore within the area.*

*(5) Visual clutter resulting from traffic calming measures and highway signage and street furniture.*

*(6) There are derelict and vacant buildings (and sites) that damage the environmental, economic and residential qualities of the area. These are Shrewsbury House and associated land; 395 to 399 Bury New Road, and 257 and 259 Bury New Road.*

*(7) The watercourse through the Clough has eroded the banks and over time dislodged the stone retention walls.*

*(8) There is an accumulation of extensions and alterations to traditional buildings which, due to some of their detail and the materials used, has begun to erode the basic character of the area.*

*(9) The use of solid roller shutters along Bury New Road is damaging to the character of that part of the area.*

Comment: The intervening 9 years have seen little improvement in the above items, with only item 6 seeing a positive outcome. The proposals in the 2009 management plan were designed to counter further decline in area character and promote solutions to items 1 to 9. Unfortunately, this coincided with a significant and continued reduction in Council budgets, restricting resources for action in many areas. The management plan put forward policies to protect area character (policies 1 to 8), to enhance the area (policies 9 to 18) and site specific proposals (policies 19 to 21).

The first batch of policies included the additional control over alterations and additions to dwellings (policy 6). Policy 14 gave some basic guidance on best practice in making changes. There have been difficulties in both property owners following the policy and possibly, within the context of reduced resources, a lack of guidance and support from the Council in spelling out in more detail how meeting modern day requirements can be achieved whilst still protecting the area character. For example, Upvc windows are an issue. Suppliers will promote their own products and claim that they are appropriate within a heritage context. Owners follow this advice, and in some instances do not contact the Council and do not apply for the necessary permission. The work is undertaken and problems arise. However, there are some Upvc windows that could be acceptable. These provide high quality sliding sash frames in a matt finish which meet health and safety standards, provide a safe means of escape and appear to be broadly the same as 19<sup>th</sup> century timber frames. They are not significantly more costly than the standard frames seen in the area, many of which are totally out of character with the area's architectural traditions. Some owners have invested in expensive Upvc frames on the



advice of suppliers when a different approach could have led to all requirements being met. Also, as an alternative, some top opening timber windows can be constructed to appear as sliding sash frames when they are closed. There are some examples where poorly designed versions of this approach, in Upvc, are found in the area. Good examples of windows that meet both heritage and modern day requirements have been approved and installed in the Council's other conservation areas. The continued implementation of the Article 4 additional powers in St Marys requires a concerted effort and additional, and more detailed, guidance. If this is not forthcoming the special nature of the area will continue to decline.

Policy 4 refers to the need to take a clear and consistent approach to changes to the commercial properties along Bury New Road. As with windows in dwellings, better guidance needs to be issued on shop/cafe security and ways of upgrading security by using options other than shutters. If shutters are to be allowed a street scene policy should be designed to use the most appropriate shutter designs and other security measures. Internal shutters have been used successfully in other commercial situations in conservation areas. Opportunities for enforcement action should be followed through.

Many of the enhancement policies were dependant on Council actions supported by sufficient resources, both in the form of investment and in staffing. These have not been available but the policies are still relevant and should be retained, and should be reviewed in 5 years time to assess if there is any possibility of progress.

Following the restoration of Shrewsbury House and some work to 257/259 Bury New Road, the remaining site specific proposals now relate to the improvement of buildings along Church Lane. Progress will need to be monitored.

## **Area Boundary**

The 2009 Study and plan gave extensive consideration to the boundary of the conservation area. Although there are concerns over the loss of area character, this problem has not reached the point where a boundary reduction should be considered. There are no other changes that should lead to a re-drawing of the boundary.

## **Recommendations**

The significance of the conservation area is under threat. This is from a lack of resources to fully support the area's protection and enhancement. It is also from the gradual erosion of its character, with the main concerns being over changes to building details, primarily windows in dwellings and roller shutters in commercial property.

There is one main recommendation.

1. That a concerted effort is made to re-engage with the residents and owners in the conservation area to raise awareness of the decline in the intrinsic qualities of the area and the need to reverse that decline. This can be done by providing more information on the various options for making changes, greater detail of information and, if necessary, a strong line in enforcing unauthorised works.



The appendix below contains the policies approved as part of the 2008 review and management plan. These still apply to the conservation area. Changes to government legislation and guidance, and in grant arrangements, have taken place since 2009 and these may affect the terminology used and the funding available.

## 2009 Management Plan and Approved Policies

### 7.1 Introduction

The character of St Mary's Conservation Area has been described in the earlier sections of this appraisal. National conservation guidelines place a responsibility on the local planning authority to formulate and publish proposals for the preservation and enhancement of conservation areas and, in exercising their planning powers, to take into account the desirability of preserving or enhancing their character or appearance. This conservation area appraisal and the management proposals were prepared for circulation to and discussion with area residents as part of a consultation process during 2007, 2008 and 2009. During 2008 a small working group was established to develop the detail of the plan and the final proposals were agreed by the Local Area Partnership and the Council in 2009. There is broad support from the local community for the policies and actions which form the management strategy.

The St Mary's Conservation Area is a generally well preserved area which has suffered relatively little recent large-scale and dramatic change within its boundaries. There has been some loss of character due to individual 1960s/1970s redevelopments and also a more recent redevelopment north of St Mary's Park. The changes which have taken place to individual properties, however, could easily be compounded, and the result would be serious erosion of the character of the area. When alterations which seem minor in themselves become widespread, cumulatively they can have a far-reaching effect on the appearance of the area. Alterations to, and the deterioration of, properties has begun to have a damaging effect.

The area has altered over recent times due to both natural and man-made changes to its landscape, trees and spaces. Drawing attention to the special features of the place and setting this in an historic framework is seen as a way of highlighting what is best about the area to help inform both public authorities and individual owners so they can avoid works which might erode the special qualities of

the area. Erosion of detail has taken place with the removal of chimneys and the introduction of flues and satellite dishes; the replacement of original doors and windows; changes to roofing materials; and the introduction of unsympathetic fencing and replacement garden walls.

Conservation policies recognise that change takes place and that individuals wish to improve their properties and environment. What the policies seek to do is to guide the way changes are made so that the traditional character of the area is preserved. Following consultation within the area, the Council has now approved stricter planning controls and the use of grant aid for repair and restoration work. Design guidance will also be prepared to guide residents in altering or extending their homes in the area. This will be produced as general advice and will also cover other Conservation Areas.

The appraisal has also highlighted opportunities to make positive changes in the area, to remove blight and deterioration and to reinforce and restore the area's special character. As indicated above, this section sets out a management plan for the St Mary's Conservation Area. These proposals should be read in conjunction with the appraisal of the designated area, set out in pages 2 to 45, and with the Council's booklet Conservation Areas of Bury which provides general advice.

The proposed policies and recommendations are intended to preserve the character and appearance of the Conservation Area, to assist in managing change without compromising the historic environment, and to put forward proposals for its enhancement. The plan is divided into three sections. The first sets out policies for the preservation of the special interest of the area, while the second relates to general proposals for enhancement. The final part of the plan contains proposals for the various specific sites that have been identified as opportunities for development or enhancement. There is currently no time scale allotted to the actions put forward. The Council is required to prepare plans for all its conservation areas and it is not currently possible to do this and also take up all actions resulting from all of the plans.

## **7.2 Policies to Protect the Area's Character**

**Policy 1** All proposals for demolition, re-development, re-building, change of use or other alteration of land and premises in the conservation have to be considered in the light of the statutory duty to preserve and enhance the conservation area. With this duty in mind, there will be a presumption against the demolition of all listed buildings and those referred to within the management plan as significant or making a positive contribution to the area's character.

**Policy 2** Proposals for the change of use of residential property, for the development of open land, for the over-development of land and garden areas, and for the unnecessary removal of trees, will be resisted.

**Policy 3** Where planning permission is required, the following proposals should be resisted - over-large, prominent, or out of character extensions; out of character dormer windows; non-traditional materials; the external cladding of walls, out of character building alterations; loss of historic building fabric; inappropriate shop/office frontages, shutters and signage, the building of out-of-character gates and walls, and the location of satellite dishes in prominent locations.

**Policy 4** It is proposed that a consistent line is taken in negotiating and enforcing changes to the Bury New Road commercial terrace, which runs south from Church Lane, to achieve a group of buildings more in-keeping with the area's traditional character.

**Policy 5** Planning and conservation area consent applications will only be acceptable if the submitted information is clear, complete and comprehensive and includes full drawings of the proposals and a thorough design and access statement. The Council will expect any proposal for a development within the Conservation Area to include a full analysis of the surrounding area and justification of why the proposals are appropriate in the context of the area's character. Proposals should respond to the surrounding development in terms of scale, height, massing, detail and materials. All proposals should protect or enhance the character and appearance of the Conservation Area.

**Policy 6** Additional planning controls have been introduced to protect the area character and the street scenes. Buildings, elevations and walls within the conservation area which can be seen from St

Ann's Road, Prestwich Park Road South, Church Lane, Lowther Road, Butterstile Lane, Shrewsbury Road, Rectory Lane, Clarks Hill, and Bury New Road, are the subject of additional planning control through the implementation of an Article 4 Direction. This applies to buildings of all ages and sizes, and buildings/structures currently screened by planting are not excluded. The additional controls cover: Replacement of windows and doors; | Removal or concealment of architectural detail; | The enlargement or creation of new exterior openings; | Demolition or lowering of chimney stacks; | Alterations to roof shapes and changes to roofing materials; | The rendering or cladding of external walls, and the painting of brick and stone; | The erection of satellite dishes; | The demolition or erection of boundary walls, railings, fences and gates; | The creation of hardstandings; and | The addition of extensions, porches or outbuildings. Formal procedures to introduce the additional controls were approved by the Council in September 2009. Planning permission is now required for the works listed above.

**Policy 7** Trees make a significant contribution to the character of this conservation area. They are protected from removal by both the conservation area status and particular tree preservation orders. The Council will generally resist proposals to cut down, top or lop trees that contribute in this way. When trees are removed or die they should be replaced with new trees of appropriate species and size.

**Policy 8** The detail of street lighting, signage and highway treatments, together with the appearance of street trees, are all important to the area's character. Changes to these elements can have a significant positive or negative impact on the historic environment. The presumption to preserve or enhance the character of the area should apply to works on the highway, and full and appropriate consultation should take place prior to any such works being undertaken.

### 7.3 Policies and Actions for Enhancement

**Policy 9** There is potential for overlap between the conservation area management plan proposals and the approved regeneration plans for Prestwich town centre. Where these initiatives come together they should be fully co-ordinated and mutually supportive, aiming to meet both regeneration and conservation objectives.

**Policy 10** For some time the Churchyard Action Group of St Mary's Church has been working with consultants to produce proposals for the enhancement and maintenance of the churchyard and its structures and monuments. The final report for this work is now complete and it is hoped that the implementation of the work will be funded through Heritage Lottery sources. This work would combine well with any improvements along Church Lane and within the park, and should be supported.

For more information about the proposals for the churchyard please contact David Dutton on 0161 253 7667 or look at a copy of the report which has been deposited in the reference section at Prestwich Library. The proposals within section 5 of the churchyard management plan should be incorporated within the wider conservation area plan. The churchyard plan outlines a conservation philosophy for the site and priorities for repair and conservation. Importance is given to the prominence of the church/churchyard, the area's landform, and the need to deal sensitively with the use of the site, its entrances, boundaries, and circulation routes within the site. The plan, in line with the Chris Burnett 2009 study, identifies the need to manage the woodland area and to protect key views and restore others. The plan puts forward improvements to encourage use and community involvement, upgrade interpretation, and at the same time to protect wild life. Particular features within the churchyard are put forward for restoration and repair. These elements should be combined with the Church Lane enhancement proposals

**Policy 11** It is recommended that Church Lane and Clarks Hill are the subject of enhancement schemes aimed at fully realising their architectural and historic qualities and their potential to enhance the conservation area. Although a scheme has not been designed at this stage, some thought has been given to such matters as road and pavement surfaces, street lighting, boundary walls and landscaping. The properties along the street/footway may also feature as part of the proposals. This scale of work will require external funding support, and the final nature of the works may be

determined by the criteria set by the funders. If a scheme can be progressed, further consultation will take place with the owners/residents directly affected.

**Policy 12** That proposals should be prepared for the enhancement of St Mary's Park to the west of Bury New Road, and that these should start with the reinstatement of the formal flower garden as soon as practical. The proposals should be in character with the original designs for the park. Proposals should also be prepared for Prestwich Clough and the former Buckley Lane bleach works site. These should combine a mix of heritage restoration, industrial archaeology and interpretation, wildlife and habitat protection/creation, and woodland management. Proposals should also be considered for the Eagles Nest woodland. A particular theme within these proposals should be the management of woodland to create and recreate important views, making maximum benefit of the area landmarks and topography.

**Policy 13** A scheme for grant aid for the repair and restoration of buildings in conservation areas has been approved in line with the Council's procedures. The scheme is aimed at reducing the burden of additional costs, though not at making large contributions to normal maintenance requirements. Rates of grant will reflect the nature of the work. Subject to a number of conditions and thresholds, grants may be available for the following works: | Essential repairs to stone and brick external walls and roof coverings, including chimney stacks | Repair and restoration of gutters and downpipes | Structural repairs | Re-pointing | Repair and replacement of window frames and external doors | Reinstatement of architectural elements | Fees associated with grant-aided works.

Applications for grant aid will be made on a standard form and must be accompanied by a clear description of the work, possibly including detailed drawings etc, together with itemised competitive prices/estimates. The full detail of the grant system has recently been reviewed.

**Policy 14** In support of both the additional controls and the approved grant system, written advice is to be prepared and issued to assist the area residents in their proposals to extend, alter and repair their properties. It is hoped that this can be produced by Summer 2010. In the meantime, interim guidance is included within this published management plan document, and the Conservation Officer can be contacted to discuss requests for design advice. Until such time as comprehensive guidance is prepared, the Council supports the following broad interim guidance:

a) Repair of traditional and decorative external woodwork is preferable to replacement. Window sills/details which require repair should be cut out and replaced with new matching timber pieces joined in a traditional way. Where windows and doors have deteriorated beyond repair, consideration should be given to having new units made to the original design, rather than to replace them with modern standardised alternatives. Replacement windows and doors should be in timber, which should be painted. External joinery should be painted rather than stripped or stained.

b) Where possible new alarm box and satellite dish fittings should be mounted just below eaves level and at the rear or side of the property. Main elevations should remain uncluttered. See through mini satellite dishes cause the least harm.

c) If re-roofing is required, salvageable slates/tiles should be reused where possible, the balance being made up of reclaimed material. The use of concrete tiles or synthetic 'slates' can be inappropriate. Where possible semi-detached houses and terraces should be re-roofed as a whole to preserve a unified appearance.

d) Chimney stacks should be retained although the flues may not be in use. Steel flues located in roofs are out of character with the area.

e) Where replacement of rainwater goods is necessary, off the shelf PVC-u is seldom appropriate. There are convincing copies of cast iron and timber sections in other materials that are lighter, less expensive and are easy to maintain. The installation of additional and new pipe work on the front or primary elevations should be avoided.

f) External stone or brickwork should not be painted and, if they are to be cleaned, an appropriate non-abrasive method should be used. Careless and dominant re-pointing of brickwork can seriously affect the appearance of the property, and the work should only be entrusted to an experienced

contractor using a weak to medium mortar mix, preferably in a lime mix, and traditional pointing methods.

g) Existing boundary walls and gateposts should be retained and protected from removal and relocation. In some streets, proposals to create car hardstandings by removing walls and gates should be resisted. In others, designs should take great care not to lose this part of the area's heritage.

**Policy 15** When considering planning applications and development proposals the duty to enhance the conservation area may be addressed through the achievement of the following – the planting of trees and hedges where appropriate; the provision or reinstatement of walls and railings, reinstatement of doors and windows and other original architectural detail.

**Policy 16** The Prestwich Heritage Society and the Greater Manchester Archaeological Unit have in the past undertaken archaeological investigations and excavations in the conservation area. It is proposed that a programme of priority work is researched and established and supported by the Council from existing resources. This may assist in investigations to identify the origins of Prestwich and support proposals for interpretation.

**Policy 17** The Council will seek financial support from grant giving bodies for Conservation Area enhancement where the proposals meet the grant criteria.

**Policy 18** The Council will consider the nature and character of St Mary's Conservation Area when considering proposal for the repair and upgrading of the highways and street furniture.

#### **7.4 Site Specific Proposals**

**Policy 19** There is potential to enhance the area by engaging with the owners of the following properties to seek their improvement or redevelopment – electricity transformer on St Ann's Road, the Scout Hall, the Pensioners' Club, Shrewsbury House, and the Conservative Club car park.

**Policy 20** Shrewsbury House has deteriorated significantly over recent months and is now partially open to the elements and in danger of being beyond economic repair. With the approval of the Secretary of State, the Council has powers to require owners to undertake urgent work for the preservation of unoccupied buildings in conservation areas, and, in the absence of action, to undertake those works and recover the costs from the owner. It is proposed that this action is investigated and proposals prepared. As a necessary first step measure, action to achieve the improvement of the site and elements of the building's external condition and appearance is being undertaken through Section 215 of the Town and Country Planning act 1990. Shrewsbury House should be retained and restored. There may be capacity to extend the property in order to support its restoration, but its demolition and the redevelopment of the site would not protect or enhance the character of the conservation area.

**Policy 21** That controls over access to Shrewsbury Road together with associate environmental improvements be investigated with all appropriate bodies.

MN May 2018 and updated December 2018



## Review of Summerseat Conservation Area. December 2018

From 2004 to 2011 Bury Council produced conservation area appraisals and management plans for 10 of its 12 conservation areas with the aim of better preserving and enhancing their character. The plans were the subject of consultation and Council approval and full details now appear on the Council's website.

Historic England, the primary heritage advisory body in England, and other heritage bodies, recommend that appraisals and plans are regularly reviewed and updated. In the intervening 14 years since the first plans were published there have also been changes to national conservation guidance the most recent being the National Planning Policy Framework 2018. Bury Council has decided, in this context, to undertake a quick review all of its conservation area appraisals/action plans. In the case of Summerseat, and based on the 2018 assessment, a mini-review only is required. The full assessment of area significance and detailed discussion of area character in the 2010 document still applies.

### Summerseat

Summerseat Conservation Area lies within the west of the village of Summerseat, 2½ miles north of central Bury within and around a widening of the Irwell Valley. It lies to the west of the A56 and the M66 with the Gollinrod Gorge and Wood to the north. It was designated as a conservation area in 1975 and in 2010 it was the subject of an appraisal and action plan report by Kathryn Sather and Associates. This relied in part on the content of the 1975 designation report and some of the issues discussed are repeated below. The report has been published on the Council's website but was not transferred into booklet format.

The website link is <https://www.bury.gov.uk/CHttpHandler.ashx?id=5992&p=0>

The Conservation Area's physical character derives from its relationship with the River Irwell which has not only served as a source of water and power for the village's industry but also to mould the form of the settlement's development, initially away from the floodplain and later closer to the river. It consists of two loosely linked settlements of Higher and Lower Summerseat which sit on the slopes surrounding the wide flood plain, now with late twentieth century infill enclosing the area from the west. The settlements can be viewed as distinct groupings connected by narrow winding roads and pathways. The low-arched natural stone bridges forming road crossings also make a significant contribution to the character of the area. They serve not only to connect the two sides of the river valley but also to link this Conservation Area (and the village of Summerseat) with the Brooksbottoms/Rowlands Conservation Area to the east.

Higher Summerseat, which is the older, is formed by a number of small stone terraces, two public houses, a farm and noble houses of varying dates set in open farmland to the east and south, in private grounds and in open space to the north, although it is enclosed to the west by recent residential development.

Lower Summerseat lies to the west and south of the Irwell and is a settlement which developed as a result of the cotton industry. It consists of small rows of stone terraces, set at right angles or along the roads. Higher and Lower Summerseat are divided by an area of mixed scrub and trees which is crossed by footpaths. The plan form is mainly linear, following the historic road layout.

Summerseat is bordered on the east by the River Irwell. This stretch of the Irwell runs through a gorge to the east and then into a wider valley bottom with a large bend. Local geology also features yellow sandstone which has been used as a building material. The whole of the river valley at this point, with its combination of -

- Mature woodland and grassland and flat land inside the river bend;
- Areas of woodland and private grounds in Summerseat House and Peel Hall;
- Green space between Railway Street and the river;

- Survival of pre-urban tracks which illustrate how the built-up area has expanded onto rural land, such as the northern end of Robin Road and the overgrown right angle running behind houses on Summerseat Lane by Summerseat House;
- Ever-present views of surrounding hills, woodland and rural landscape;
- Setting of the village on the valley sides adds to the character, providing gradient and a varied roofscape;
- Area of woodland at the top of Robin Road across the Holcombe Brook and with paths leading to Broad Hey Wood, designated as a Site of Biological Interest, Class A.

The special character of the Summerseat Conservation Area derives from the following elements:

- Two distinct character areas, one being the older part of the settlement of a mixture of eighteenth and nineteenth century stone terraces and detached buildings on historic thoroughfares; the other being largely a development of the cotton industry from the late eighteenth or early nineteenth century and consisting of rows of small terraces;
- A number of buildings or monuments listed or of local architectural or historic interest;
- Traditional craftsmanship, natural resources and energy of production embodied in original building materials and architectural features;
- Visual harmony resulting from use of a limited palette of natural building materials largely of locally derived stone and stone or slate roofs; Rural area with an open feel and many buildings set back from the road;
- Significant views out of the Conservation Area to the north and east;
- Green open space provided by the landscaped grounds of Summerseat House and Peel Hall and mature woodland at Broad Hey Wood, which is a designated Site of Biological Interest.

The action plan produced in 2010 recommended policies to protect the important green and woodland spaces, also the key views into and out of the area and the special setting and topography that were central to its character. It raised concerns over the loss of character from inappropriate alterations to buildings and offered advice on how best to extend, repair and restore buildings in the area. It referred to the possibility of bringing in additional controls if changes began to threaten the significance of the conservation area. There was also concern over the potential for encroachment of development on the boundary of the conservation, and examples of 20<sup>th</sup> century housing to the west and the Summerseat Garden Centre were mentioned. Reference was also made to the need to better protect traditional materials in the public realm and for the Council to produce a strategy for enhancing the green space. The report recommended combining the Summerseat and Brooksbottoms Conservation Areas by including the river meander and associated land that sits between them. This has been considered but not been taken up by the Council.

The area has been re-surveyed (January 2018) and compared with images of 2009 and 2015. Since 2010 there have been some changes. The vacant former Liberal club has been converted to restaurant use. A new car park on former industrial land on Robin Road has been created, and a residential development on the former print and dye works site (outside but on the boundary of the conservation area) accessed by bridge from Railway Street is nearing completion. None of these developments have harmed area significance. However, any further development on open land accessed by the bridge from Railway Street would be seriously detrimental to the significance of the adjacent conservation areas. The conclusion is that there is also little or no capacity within or on the boundary of the conservation area for any further development.

Since 2010 further changes to windows and doors have taken place to dwellings some of which have been harmful to area character. These have had the most impact on buildings adjacent to Railway Street and parts of Higher Summerseat, though the Robin Road cottages remain generally well preserved. Consideration should be given to now introducing additional controls via an Article 4 Direction (please see reference to this in the 2010 management plan below) to stem further inappropriate alterations and to providing more detailed and targeted guidance to help area residents respond positively to any additional controls.

Recently the poor condition of Summerseat House has become an issue. This is a grand former mill owner's residence and is a grade II listed building. It stands empty and within large grounds and is owned by the Council. It is important that urgent action is required to secure the future of the building. Appropriate studies are required to consider how best to use and save the building and these should

follow relevant guidance from the NPPF 2018 and from Historic England and in line with good heritage principles and practice.



The appendix below contains the policies approved as part of the 2010 review and management plan. These still apply to the conservation area. Changes to government legislation and guidance, and in grant arrangements, have taken place since 2008 and these may affect the terminology used and the funding available.

## Appendix. 2010 Management Plan and Policies

## **Section 9 Conservation Area Study**

### **9.1 Introduction**

The Conservation Area Character Appraisal has provided the basis for developing a study on control of development and change and proposals for enhancement for the Conservation Area. National conservation guidelines place a responsibility on the local planning authority to formulate and publish proposals for the preservation and enhancement of conservation areas and, in exercising their planning powers, to take into account the desirability of preserving or enhancing their character or appearance. The Conservation Area Character Appraisal and the proposals contained within this study were prepared for circulation to residents as part of a consultation process during 2010.

The Summerseat Conservation Area is a generally well preserved area which has suffered from some demolition of the mill buildings and early workers' terraces and the encroachment of twentieth century development. Other changes have taken place which could be compounded and the result would be serious erosion of the character of the area. When alterations which seem minor in themselves become widespread, cumulatively they can have a far reaching effect on the appearance of the area. While many residents have taken pride in the original features of their properties, alterations are beginning to have a damaging effect. Drawing attention to the special features of the place and setting this in a historic framework is seen as a way of highlighting what is best about the area to help inform individual owners so they can avoid works which might erode the special qualities. Although not yet widespread, erosion of detail has taken place with the introduction of satellite dishes, the replacement of original doors and windows, changes to roofing materials and the introduction of replacement garden walls and unsympathetic fencing. Conservation policies recognise that change takes place and that individuals wish to improve their properties and environment. What the policies seek to do is to guide the way changes are made so the traditional character of the area is preserved.

A successful conservation policy depends to a large extent on the participation and support of all owners and occupiers of properties in the Conservation Area, of all other authorities who have statutory responsibilities within the designated area and of the public generally. The Council hopes that the publication of the draft proposals will help to kindle interest and support which are necessary if an area is to be successfully conserved. Other alterations, such as replacement of street lamps and original pavement materials, introduction of signage and so on, relate to works of maintenance and road safety measures carried out by the Council. Such works are essential for the safety and comfort of residents but there may be scope for replacing some elements with Summerseat Conservation Area, in more sympathetic materials as routine repairs and replacements are undertaken.

As well as guarding against damaging alteration, the study aims to consider how the area can be enhanced and to ensure that modern needs can be catered for in a sensitive way. The study is divided into three sections. The first sets out policies for the preservation of the special interest of the area, while the second relates to general proposals for enhancement.

The final part of the study contains proposals for various specific sites that have been identified as opportunities for development or enhancement. There is no timescale allotted to the actions put forward. The Council is required to prepare plans for all its conservation areas and it is not currently possible to do this and also take up all the actions resulting from all of its plans.

### **9.2 Policies for the Control of Development and Change**

The following policies are directed at ensuring that change is in sympathy with the area's character. These should be read in conjunction with the Council's publication Living in a Conservation Area which gives general guidance on conservation areas and explains when planning permission is required for the alteration and extension of dwellings. They should be taken into account when

consideration is being given to proposed alterations and when guidance is required, subject to public views and consultation.

### **Suggested Boundary Changes**

Best practice guidance contained in PPG15<sup>7</sup> and English Heritage guidance<sup>8</sup> states that the boundaries of existing conservation areas should be kept under review. Parts which are no longer special should be excluded. Where drawn too tightly, the conservation area should be extended to include more recent phases or plots associated with buildings of historic interest. The Conservation Area Appraisal considered that it is now recognised that conservation area boundaries need to be seen within a wider context of urban development. Designated areas should provide protection to buildings that were perhaps not previously considered to be of architectural merit and to the spaces between buildings, such as streets and neutral areas. It is also the case that further information can come to light about the historic importance of buildings and spaces.

It is therefore considered appropriate to exclude 180 Summerseat Lane from the Conservation Area. This late twentieth century house is of no special architectural or historical interest and has been built since the Conservation Area was designated, to the south of what was then Home Farm. It is also considered appropriate to include the remainder of Railway Street as far east as and including the Twist Bridge but excluding the Waterside Garden Centre. This would provide additional protection to the green space and mature trees between the road and the river, on the historic site of Long Row and to the terrace of early twentieth century brick houses to the south of the road, of which number 190 has its original windows with leaded glass and door. The bridge has been proposed for the Local List. The Waterside Garden Centre consists of late twentieth century buildings of no special interest and there are very few visible remains of the Twist Mill in the garden of the twentieth century house now occupying the site.

**Action 1** Amend the boundary of the Conservation Area as shown on the proposals map:

To exclude 180 Summerseat Lane. To include the remainder of Railway Street as far east as and including the Twist Bridge but excluding the Waterside Garden Centre.

The Summerseat and nearby Brooksbottoms/Rowlands Conservation Areas both have their origins in the seventeenth century farming community and developed in the late eighteenth century with the introduction of the cotton industry and both share buildings of the same type and character. As they currently lie so close to each other, and given the suggested boundary extensions which will mean that they share boundaries, it is proposed to merge them to create one conservation area, which could be called the Summerseat Village Conservation Area as the village itself currently lies within the Brooksbottoms/Rowlands Conservation Area.

**Action 2** To merge the Summerseat Conservation Area with the nearby Brooksbottoms/Rowlands Conservation Area.

### **Future Demolition**

Legislation provides for control over the demolition of buildings in conservation areas (subject to various exceptions). Paragraph 4.27 of PPG15 – Planning and the Historic Environment indicates that ‘the general presumption should be in favour of retaining buildings which make a positive contribution to the character or appearance of a conservation area’. It goes on to indicate that proposals to demolish such buildings should be assessed against the same broad criteria as proposals to demolish listed buildings (paragraph 3.16 – 3.19 of PPG15). The Significant Buildings map accompanying this document identifies all buildings within the designated area and the suggested boundary extensions which are proposed for addition to the Local List and those which make a positive contribution to the townscape. There should be a presumption against the demolition of all these buildings.

**Action 3** The Council will only grant conservation consent for the demolition of a building proposed for the Local List or a building that makes a positive contribution to the townscape of the Conservation Area (as identified on the Significant Buildings map) if it has been fully justified against the criteria laid out in PPG15 paragraphs 3.16 – 3.19.

### **Minor Alterations and Extensions**

Any work that materially affects the external appearance of a building requires planning permission, subject to certain permitted development rights. Under normal planning control certain works to dwellings are classified as permitted development and do not require planning permission. This includes small alterations and extensions, the erection of buildings, enclosures or pools required for a purpose incidental to the enjoyment of a dwelling house (such as a swimming pool), the provision of some hard surfaces and the erection of and alteration to boundaries. However, within conservation areas some development (that in other areas would be permitted development) are not classified as permitted development. This includes various types of cladding, the insertion of dormer windows and the erection of satellite dishes on walls, roofs and chimneys fronting a highway. Within conservation areas, the size of extension that may be erected without special planning permission is also more restricted.

Work that affects the external appearance of a building can include the replacement of doors and windows, particularly if it involves a change in the design or use of a modern material, such as plastic (PVC-u). The accumulative effect of door and window replacement is beginning to damage the character and appearance of the Conservation Area. The effect of further alterations of this nature will seriously erode the special nature of the area, which is the reason for its designation.

**Action 4** Where planning permission is required, the Council will resist the replacement of doors and windows which would adversely affect the appearance of the building and where the proposal would be detrimental to the character of the building or to the character of the wider Conservation Area.

The traditional materials used for the external walls of the buildings establish the appearance of the Conservation Area.

**Action 5** The Council will resist all proposals to clad buildings with materials that are not appropriate to the appearance of the Conservation Area.

The widespread erection of satellite dishes and communications equipment on buildings would have a detrimental impact on the appearance of the Conservation Area.

**Action 6** Where planning permission is required, the Council will resist all proposals that involve the erection of satellite dishes and communications equipment in prominent locations within the Conservation Area.

Extensions to buildings can be detrimental to their appearance either because of their location, size or design. Extensions (including porches and canopies) on the front or principal elevations of buildings should be avoided as these elevations have usually been carefully designed. Extensions at the side or rear are generally to be preferred, except where these elevations have also been carefully designed or are open to public view. Extensions should be subordinate to the building to which they are attached, should use similar or complementary materials, and should reflect or complement its style and appearance.

**Action 7** The Council will resist proposed extensions that are too dominant, in a prominent location, or are otherwise detrimental to the character of the buildings to which they are attached, or to the character or appearance of the wider Conservation Area.

### **Article 4 Direction**



Local planning authorities may remove (or apply for approval to remove) permitted development rights by way of an Article 4 Direction. This means that certain developments what would otherwise not require planning permission would be brought under control. The effect of the alterations and extensions that are possible under permitted development rights, such as the erection of small porches and extensions, the creation of hard-standing and the removal of boundary walls, has begun to damage the character and appearance of the Conservation Area. The cumulative effect of further alterations of this nature will seriously erode the special interest of the area, which is the reason for its designation.

**Action 8** The Council will consider implementation of an Article 4 Direction (removing permitted development rights set out in Classes A, B, E, F and G of Part 1 of Schedule 2 of the Town and Country Planning (General Development Order) 1995).

### **Boundary Walls**

Many of the properties in the Conservation Area have stone walls and gate posts along their boundaries and these are an important feature of the area, contributing to its character and appearance. Those along front boundaries are very important within the street scene, helping to delineate the public and private spaces. Proposals to create car hardstandings could result in the removal of walls and gates.

**Action 9** As part of proposals that require planning permission, the Council will discourage the removal of stone walls and gate posts that contribute to the character or appearance of the Conservation Area.

### **Land Use**

The character of the Conservation Area relies partially upon the existing pattern of land use. Any major changes to these land uses will affect this character. At present, there are commercial uses on Higher Summerseat, with educational uses at Summerseat House and the remainder of the area is residential.

**Action 10** The Council will carefully consider how proposals for change of use may affect the character of existing land or buildings within the Conservation Area.

### **Landscape Issues**

Section 211 of the Town and Country Planning Act 1990, as amended, requires that anyone proposing to cut down, top or lop a tree in a conservation area must give six weeks notice to the local planning authority. The purpose of this requirement is to give the authority an opportunity to make a tree preservation order.

**Action 11** The Council will generally resist proposals to cut down, top or lop trees in the Conservation Area. When trees are removed or die they should be replaced with new trees of appropriate species and size. There is only one open space within the Conservation Area which is very important to its character. This is the area around the junctions of Newcombe Road, Peel Hall Road, Summerseat Lane and Higher Summerseat Conservation Area. In the suggested extension, there is another valuable open space off Railway Street on the site of the workers' terraced housing. All these spaces need to be protected from built development.

**Action 12** The Council will resist all proposals to develop the significant open spaces within the Conservation Area with buildings.

## Unused or Underused Land

New development in unused or underused land needs to be appropriate for the character of the Conservation Area in terms of size, massing, style and materials. The Conservation Area Appraisal notes that the layering of history in the Conservation Area is of interest. However, the introduction of additional large volume buildings could damage the mix and the surviving lines of burgage plots that give interest to the Conservation Area. In general terms, high volume buildings can threaten the scale and grain of the Conservation Area and could be intrusive here. The Conservation Area is not homogenous in built form and larger buildings currently within it include Peel Hall and Summerseat House. This recommendation seeks to ensure that the scale and grain of development is appropriate, in accordance with advice contained in paragraph 7.9 of the English Heritage document Guidance on the Management of Conservation Areas.

**Action 13** Any new development should ensure that the footprint and massing of new buildings fits into the existing urban grain and respects the historic character of the Conservation Area. Setting of the Conservation Area

The Conservation Area Appraisal identified that the setting of the Conservation Area is important, that late twentieth century development has already negatively affected the setting to the west and recent development at the former print works has negatively affected the setting of the designated area.

**Action 14** The Council will take the setting of the Conservation Area into account in any proposal for new development just outside its boundaries.

## Planning Documents and Guidance

Although some relevant general Supplementary Planning Guidance Notes are available, as is the Council's publication on conservation areas, residents would benefit from formal guidance directly applicable to the Conservation Area. This would provide design guidance on extensions and alterations.

**Action 15** The Council will prepare a design guide for the Conservation Area to provide advice and guidance for residents on the subject of extensions and alterations which will form a material consideration in planning applications.

## Suggested Monitoring and Enforcement Arrangements

English Heritage guidance recommends the development of procedures<sup>9</sup> for monitoring change in conservation areas on a regular basis (every five years), such as photographic surveys and recording.

**Action 16** A mechanism for monitoring change on a regular basis will be developed.

English Heritage guidance also recommends that the special character of conservation areas is protected and enhanced by enforcement of the controls applied. In March 1998, the Cabinet Office, in partnership with the Local Government Association, published the central and local government Concordat on Good Enforcement, a voluntary non-statutory code setting out best practice.

**Action 17** The Council will continue to take enforcement action within the Conservation Area where appropriate.

### 9.3 Proposals for Area Enhancement

**Protection and Enhancement of Important Views and Vistas** It is important that the significant linear views (visual axes) are preserved from encroachments, inappropriate developments or loss of enclosure. The quality of these visual axes is subtle, and is subject to a wide variety of potential threats including demolition of corridor walls, installation of street signage and other visual clutter, or encroachment by large buildings, projecting signs, advertisement hoardings and so on. These threats will need to be assessed and managed as they arise.

**Action 18** Important visual axes will be preserved and enhanced including: from the top of Peel Hall Road eastwards and north-eastwards over the valley; from Higher Summerseat in the same direction; from Summerseat Lane northwards; out of the existing Conservation Area, towards the Peel Monument on Harcles Hill, from the North of Summerseat Lane.

**Highways, Footways, Lighting and Signage** It is also important that the plan form of historic routes is respected as this has affected the present character of the Conservation Area. Peel Hall Road, Summerseat Lane and Higher Summerseat were present in 1818. The others were all present by 1850 and served the growing industrial community.

**Action 19** The following historic routes will be protected from amendment to their plan form wherever possible within the scope of the Planning Legislation: Peel Hall Road; Higher Summerseat; Summerseat Lane ; Robin Road; Waterside Road; Railway Road.

The Conservation Area Appraisal identified a loss of historic street and pavement surfaces which are now exclusively tarmac and have a negative effect on the character of the area.

**Action 20** The Council will seek to restore the traditional appearance of the streetscape and consult the Conservation section on future enhancements to the footpaths in its ownership in the Summerseat Conservation Area.

The traffic through the village is affecting the setting of the current Conservation Area. Any future public works to the carriageway should take full account of the potential effect they will have. Pavements and crossings must be suitably maintained and improved in order to facilitate their use by pedestrians.

**Action 21** The Council will seek to work in partnership with the County Council over new schemes to improve the control of traffic flow and pedestrian access across the streets of Summerseat. It will seek to ensure that new and existing hard surfaces, road signage and other items of street furniture will preserve the special character of the Conservation Area.

### Repair and Improvement of Buildings

Summerseat Conservation Area is characterised by varied pitched roof forms. The original roofs are covered with local stone flags or natural slate.

**Action 22** If re-roofing is required, salvageable slates or stone slabs should be re-used where possible, the balance being made up of reclaimed material. The use of concrete or clay tiles or synthetic slates would be inappropriate. Where possible semi-detached houses and terraces should be re-roofed as a whole to preserve a unified appearance.

Stone and brick chimney stacks with clay pots make a strong contribution to the skyline and add to the character of the area.

**Action 23** Chimney stacks and pots should be retained at their original height with their original banding and detailing although the flues may not be in use.

The Council also supports the following broad guidance: Repair of traditional and decorative external woodwork is preferable to replacement. Window sills which require replacement should be cut out and replaced with new matching timber pieces joined in a traditional way. Where windows and doors have deteriorated beyond repair, consideration should be given to having new units made to the original design, rather than to replace them with modern standardized alternatives. Replacement windows should be timber, which should be painted. Joinery should be painted rather than stripped or stained. Where possible new alarm box and satellite dish fittings should be mounted below eaves level and at the rear or side of the property. Main elevations should remain uncluttered. See-through mini satellite dishes cause the least harm. Where replacement of rainwater goods is necessary, off-the-shelf PVC-u is seldom appropriate. There are convincing copies of cast-iron and timber sections in other materials that are lighter and less expensive. The installation of additional and new pipe work on the front or primary elevations should be avoided. External brickwork should not be painted and, if it is to be cleaned, a non-abrasive method should be used. Careless repointing to brickwork can seriously affect the appearance of the property and the work should only be entrusted to an experienced contractor using a weak mortar mix and traditional pointing method.

Some of the buildings within the Conservation Area have lost their original doors, windows and other features. As a result their character has been eroded. As proposals come forward for alterations and extensions, there may be an opportunity to encourage the reinstatement of such features.

**Action 24** The Council will encourage the reinstatement of doors, windows and other features to their original pattern.

Buildings which are not of national significance do not merit statutory listing, yet many areas have not been surveyed for relisting recently and may contain buildings of listable quality. However, buildings which are valued for their contribution to the local scene, or for local historical associations, may be included on lists of locally important buildings. The Heritage Protection White Paper encourages the use of local designation to provide communities with the opportunity to identify and manage those aspects of their heritage that are important to them.<sup>12</sup> Local planning authorities may formulate policies for their protection through development control procedures.<sup>13</sup> Buildings and artefacts which contribute to the character and appearance of the Conservation Area are identified in Appendices 3 and 4.

**Action 25** The following buildings and artefacts are identified as being of local architectural or historic interest – the ‘Local List’. They do not enjoy the full protection of statutory listing: 22 Higher Summerseat; 20 Higher Summerseat; Hamers Arms, Higher Summerseat; 46 to 56 Robin Road; Stone Pavement on Higher Summerseat; Twist Bridge, River Irwell.

Heritage-led regeneration has a key role to play and funding of historic building repair and restoration would assist with achieving wider aims for the area while preserving and enhancing the special local character. Possible sources of funding would include the Heritage Lottery Fund, English Heritage and the Regional Development Agency. A ‘building at risk’ is defined as one in a poor state of repair and often vacant and redundant from its original use. The buildings are at risk of loss or further deterioration unless action is taken to arrest the neglect and decay. The appearance of the Grade II listed Summerseat House has suffered from inappropriate and intrusive features including a fire escape and flat-roofed extension.

**Action 26** Opportunities to secure funding for the preservation and enhancement of statutory listed buildings in the Conservation Area will be pursued. Particular attention will be given to the following ‘heritage at risk’: Summerseat House.

The Council will encourage appropriate maintenance of historic buildings. The Council will continue to monitor the condition of its listed buildings on a regular basis and consider using its powers to serve urgent works or repairs notices where necessary. Buildings within the existing and proposed

extensions to the Conservation Area were identified in the Appraisal as being at risk, such as the former Liberal Club. Urgent works and repairs notices can be very effective in helping to secure the future of historic buildings and sites. Local authorities should make full use of their statutory powers if listed buildings, or unlisted buildings that contribute positively to the special interest of a conservation area, are falling into decay.

**Action 27** Action may be considered under Section 215 of The Planning Act 1990, and/or sections 48, 54, and 76 of the Planning (Listed Buildings and Conservation Areas) Act 1990 to secure the repair of listed and unlisted buildings within the Conservation Area, and to ensure that untidy lands and sites are addressed where appropriate.

### **Removing Environmental Problems**

The Character Appraisal identified certain environmental problems which are having a detrimental effect on the character of the Conservation Area. Local residents are in the best position to report such problems and the Council should work with residents' groups to clear up in an appropriate and timely manner.

**Action 28** The Council will work with residents to respond to reports of environmental problems and will clear up in an appropriate and timely manner.

### **Landscape and Trees**

Trees are a particular feature of the Conservation Area but they mature and die. Therefore, every effort should be made to provide for new and replacement tree planting within new developments.

**Action 29** The Council will encourage the planting of new and replacement trees of appropriate species and size where appropriate as part of all developments within the Conservation Area.

### **Improvements to Support Beneficial Uses**

There is a shortage of local facilities and services for residents and visitors within the village.

**Action 30** The Council will encourage appropriate proposals for employment opportunities and services for residents, subject to the policies referred to in this document.

### **Public Realm**

Within the Conservation Area there is a variety of materials used for paving. Along some roads, such as Higher Summerseat, stone flags and cobbles remain, but elsewhere tarmac has replaced the traditional materials. There is also poor quality and intrusive street furniture, such as metal street lamps, bollards and dog waste bins on Peel Hall Road. All of this is detrimental to the character and appearance of the area. Any future public works to the carriageway should take full account of the potential effect they will have. Pavements and crossings must be suitably maintained and improved in order to facilitate their use by pedestrians. Best practice for the management of historic streets is contained in English Heritage guidance.

**Action 31** The Council will prepare a public realm strategy that can be used to provide a consistent and appropriate approach to all works within the public realm, including work by utility companies. Subject to external grant support, the Council will produce and implement a programme of reinstatement and enhancement to the public realm.

All outdoor advertisements affect the appearance of the building or neighbourhood where they are displayed. The survey identified an advertising sign of one of the pubs in poor condition at the northern end of Higher Summerseat.

**Action 32** The Council will ensure that all proposed advertisements accord with Policy EN1/9 of the Local Plan and the subsequent relevant policies that will be adopted in the forthcoming LDF.

### **Redevelopment Opportunities**

Within the Conservation Area all proposals for development are opportunities to enhance the character and appearance of the designated area. It is therefore important for full details (including detailed plans, sections, elevations and landscape proposals) to be available as part of the planning application.

**Action 33** The Council will not consider an application for planning permission for development within the Conservation Area unless it includes full details of all elements of the proposal.

**Action 34** The Council will expect any proposal for a development within the Conservation Area to include a full analysis of the surrounding area. Proposals should respond to the surrounding development in terms of scale, height, massing, alignment, style and materials. All proposals should protect or enhance the character and appearance of the Conservation Area. Proposals should show how they conform to the criteria laid out in PPG15 paragraphs 4.14 and 4.16-4.20.

The Character Appraisal identified intrusive buildings and sites and opportunities to improve them should be sought to ensure the preservation or enhancement of the character and appearance of the Conservation Area, in accordance with Section 72 of the Planning (Listed Buildings and Conservation areas) Act 1990.

**Action 35** Opportunities for the improvement of the intrusive buildings and areas identified within this Appraisal will be sought, should an application for planning permission be submitted on those sites.

### **9.4 Site-Specific Proposals**

The previous two sections have set out a general approach for the preservation and enhancement of the Conservation Area. However, there are a number of sites within the designated area that have been identified as opportunities for development or enhancement. These are considered below.

**Summerseat House** The significance of the Bury Council- owned Grade II listed Summerseat House is compromised by the poor quality tarmac drive and intrusive gates, fencing and fire escape.

**Action 36** Consider working with the Pupil Learning Centre to develop a repair and conservation scheme for the house and grounds which should at least aim to replace the drive with a more appropriate surface, the gates and fencing in appropriate materials and style and the fire escape with a more appropriate design.

**Former Liberal Club, Robin Road** The unlisted former Liberal Club, in a prominent position by Waterside Road and now owned by a developer, is vacant and gives a neglected appearance to the designated area.

**Action 37** If deterioration worsens, the Council should consider serving an Urgent Works notice under section 54 of The Planning (Listed Buildings and Conservation Areas) Act 1990 to the owner to secure immediate repairs. As this is an unlisted building, the agreement of the Secretary of State would have to be obtained.

**Trees on Robin Road** A resident reported that lack of management of the trees on the west side of Robin Road opposite the terrace meant that they were intruding on residents' light.

**Action 38** The Council will assess the condition of the trees on Robin Road and, if appropriate to do so, will take action to lop branches.



MN May 2018 and updated December 2018

## **Review of Walmersley Conservation Area. December 2018.**

From 2004 to 2011 Bury Council produced conservation area appraisals and management plans for 10 of its 12 conservation areas with the aim of better preserving and enhancing their character. The plans were the subject of consultation and Council approval and full details now appear on the Council's website.

Historic England, the primary heritage advisory body in England, and other heritage bodies, recommend that appraisals and plans are regularly reviewed and updated. In the intervening 14 years since the first plans were published there have also been changes to national conservation guidance the most recent being the National Planning Policy Framework 2018. Bury Council has decided, in this context, to undertake a quick review all of its conservation area appraisals/action plans. In the case of Walmersley, and based on the 2018 assessment, although there was no original appraisal a mini-review only is required. .

### **Walmersley**

Walmersley Conservation Area was designated in 2004. The initial aim of designation was to resist the demolition of the former Walmersley Brewery building group and to include the abutting Christ Church and former school. There is no current management plan. The area is located adjacent to Walmersley Road, just north of Springside Road.

The earliest records found identify the brewery as existing in 1842. It was owned by the Chadwick family who also owned the nearby Glorybutts Farm and a number of other properties including the Stanley Arms, the Trafalgar, the Hark to Towler, the New Inn, Eagle and Child and others. The 1845 O.S. plan shows the core of the brewery and it was known to have had a number of small extensions during the remainder of the 19<sup>th</sup> century. In 1926/27 it passed to the Anglo-Continental Grape Products Ltd and by 1930 had been substantially extended. By 1937 it was disused and it is thought that Spurrier & Glazebrook Oil moved to the site from Manchester at the time of the WW2 air raids.

Christ Church, the school, the school master's house and a parsonage (off Springside Road) were all thought to be constructed c1838-39. However, the 1845 O.S. plan shows a smaller church than the present building which must have been replaced prior to the next O.S. issue in 1893. There is evidence that a new church, designed by Maxwell and Tuke, was constructed in 1883, The parsonage was replaced by a new vicarage during the 20<sup>th</sup> century but the 1838-39 school and school master's house remain albeit with some alterations.

The brewery site contained a core of 2, 3 and 4 storey stone early 19<sup>th</sup> century buildings together with later brick extensions enclosing a sett paved courtyard and within a stone boundary wall with gate piers. The early stone buildings were in a plain utilitarian style constructed mainly in coursed stone but also with random stone walling. They have simple stone sills, heads and reveals and large dressed cornerstones. There is a main 4 storey square stone tower enclosed by 2 and 3 storey stone buildings, all with slate roofs. A tall stone and brick chimney stands in the middle of what is an impressive building group. Generally the buildings have an industrial feel but the 2 storey property on the road frontage gives the impression of a square Georgian house. Stone lintels on the ground floor opening in the 4 storey building carry the name Walmersley Brewery.

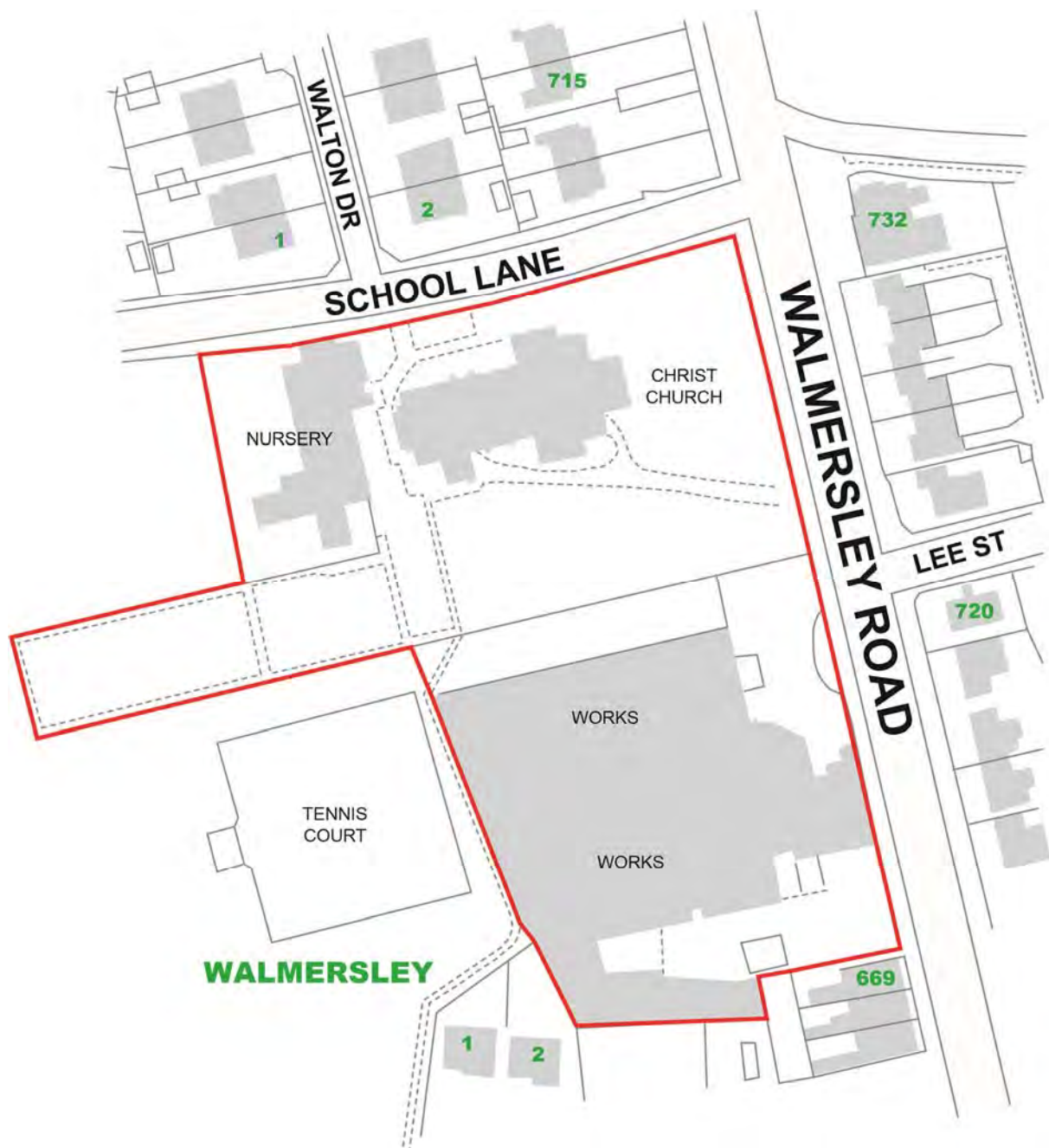
The Christ Church site is also enclosed by a stone boundary wall with a lych gate to Walmersley Road and ornate gate piers and gates to School Street. The well preserved churchyard contains a number of mature trees which are most dense along Walmersley Road. The Church is a substantial and dominant stone building with a tall nave, aisles and transepts. It has a tall and ornate square south tower featuring gargoyles, stone banding, carved window openings and topped by finials. The west end of the church appears to be plainer than the east with only the lancet windows and buttresses giving relief. The east end, including the transepts, is more ornate with more elaborate window tracery. The design and appearance of this building supports the 1883 date given above.

To the rear of the church and abutting School Street are the school and former house. Both are constructed from coursed stone with slate roofs and are a single building unit L shaped in plan. The school is a long single storey building the house is 2 storey, though their roof ridge heights are the

same. They are generally plain with the only carving being the stone corbels to the gutters and the hood moulds over the school windows and the doors to the school and the house.

In 2005/06 proposals were submitted for the conversion of some of the brewery buildings together with some demolition and redevelopment. This involved 23 new mews, semi-detached and apartment units. Work on site was protracted and severely delayed until a new developer took over. Work was completed and the units occupied in 2014/2015. The scheme retained much of the brewery buildings, though the chimney and some ancillary buildings were lost and replaced. The planning permission restricted unauthorised alterations to the completed development to ensure that the character of the conservation area would not be damaged in the future.

The area has now been re-surveyed (January 2018). The planning permission appears to have been implemented in accordance with the approved scheme and no additional/later alterations have been carried out. There is no further action to be undertaken in this part of the area. However, a watching brief should be carried out in relationship to the former school buildings at the rear of Christ Church as these are showing signs of deterioration.



MN May 2018 and updated December 2018